

## Appendices

### APPENDIX A: SURVEY PLAN PREPARED BY CADDEY SEARL & JARMAN

DRAFT

NB FOR INITIAL PLANNING PURPOSES ONLY

NOTE: THE TITLE BOUNDARIES AS SHOWN HEREON WERE NOT MARKED AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY OR BY FIELD SURVEY. THE TITLE TO THE LAND HAS NOT BEEN VIEWED WHICH MAY DISCLOSE EASEMENTS, COVENANTS, RESTRICTIONS ETC NOT SHOWN ON THIS PLAN. SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES. THE RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES MAY BE DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY

CAD REF: 71393BASE.dwg



CAUTION: DO NOT SCALE  
SCALE 1: 800 A2  
0 8 16 24 32 40 48  
m  
DATUM: AHD  
ORIGIN:

COUNCIL: BEGA VALLEY  
PARISH: PAMBULA  
COUNTY: AUCKLAND  
CLIENT:  
CONTOUR INTERVAL: 1 m  
DATE OF SURVEY: NOV. 2003

DATE DRAWN:  
SURVEY:  
SHEET NO: 1 of 1  
REF. NO: 44476 / 71393  
D.A. NO:

CADDEY SEARL & JARMAN  
CONSULTING SURVEYORS  
ABN 76 762 499 293  
10 CANNING STREET BEGA  
PO BOX 259 BEGA NSW 2550  
PHONE: 02-6492 2933  
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PO BOX 488 MERIMBULA NSW 2548  
PHONE: 02-6495 1044  
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CONTOUR AND DETAIL SURVEY OF  
LOT 946 DP604076  
MAIN STREET  
MERIMBULA

## Appendices

### APPENDIX B: ARCHITECTURAL PLAN PREPARED BY ROTHELOWMAN ARCHITECTS



Drawing Register

No. Title

TP00.00 COVER SHEET  
TP00.01 SITE PLAN  
TP00.02 SITE SURVEY  
TP00.03 DEMOLITION PLAN  
TP01.01 LEVEL NEW SERVICES RD PLAN  
TP01.02 LEVEL BASEMENT PLAN  
TP01.03 LEVEL DOCK PLAN  
TP01.04 LEVEL STORE PLAN  
TP01.05 ROOF PLAN  
TP02.01 ELEVATIONS  
TP02.02 ELEVATIONS  
TP03.01 SECTIONS  
TP04.01 SHADOWS  
TP04.02 GFA & NLA PLAN  
TP04.03 SIGNAGE PLAN  
TP06.01 NOTIFICATION PLAN  
TP07.01 DEVELOPMENT SUMMARY

Rev

No. Title

Rev



General Notes

The following notes shall be read in conjunction with all design documents, schedules & specifications including but not limited to architectural, structural and services drawings and specifications, and any principal's project requirements documents relating to this project.  
All documents to be read in conjunction with & comply with all reports including but not limited to bldg surveyor, acoustics, fire & esd reports.  
All work shall comply with NCC/ relevant authority requirements and Australian Standards (AS.) Codes for trades.  
Do not scale off this drawing.  
Contractor shall verify all dimensions on site.  
Contractor shall report any discrepancy in the documents to the architect for clarification prior to the affected work proceeding.  
Contractor to confirm setout with architect prior to construction.  
All levels are to australian height datum (AHD) u.n.o.  
All materials and fittings to be fixed in strict accordance with the manufacturers current specification and recommendation.  
Expansion, control or construction joints for all materials/systems to be provided in accordance with manufacturers instructions. Locations of joints to be confirmed on site with architect prior to installation.  
Refer to surveyors drawings check survey and detail drawing to locate and confirm all existing services, pipes poles, embankments, pits and like prior to commencing any work.  
Refer to civil eng dwgs for existing and new water, drainage design and associated site works design and detail. Refer to civil eng and landscape dwgs for all roadway, paving, surface, surfaced finished surface levels.  
Refer to the acoustic report for required acoustic specification & details. All acoustic requirements to meet minimum ncc u.n.o.  
Refer window schedule and/or facade eng details for all glass, frame types and finishes etc.  
All dimensions to be verified prior to preparation of shop drawings and commencement of construction.  
Refer to elevations and/or facade engineer drawings for further finishes and panel setout information - confirm with architect prior to manufacture and/or installation.  
All exposed steel to be hot dipped galvanised, refer finishes schedule for any painting requirements.  
All silicon sealant to be colour matched to adjacent surface u.n.o.  
All door hardware to be fixed at 1050mm a.f.f. u.n.o. refer door schedule for door/frame details and size.  
All glazing to comply with current versions of AS 1288 and AS 2047.  
Ensure flush transition between different floor finishes, provide flush aluminium angle between different floor surfaces.  
Any services penetrating a fire rated/ acoustic wall or slab are to be appropriately sealed to NCC/authority approved method/materials in accordance with minimum fire/acoustic/ fire engineering requirements u.n.o.  
Ceiling framing systems documented are indicative only. Framing installation to comply with manufacturers recommendations & set out accordingly for design/documentation intent.  
Fire indexes of materials, linings and surface finishes to comply with C1.10 of NCC.  
All wall types including but not limited to linings and insulation is to be full height to underside of slab u.n.o. ensure stud gauge/centres is suitable for proposed installation in accordance with manufacturers installation requirements.

MERIMBULA ALDI

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Client

ALDI STORES

PRELIMINARY  
NOT FOR CONSTRUCTION

Project No

216142

Date

14/08/17

Drawing No.

TP00.00

Revisio

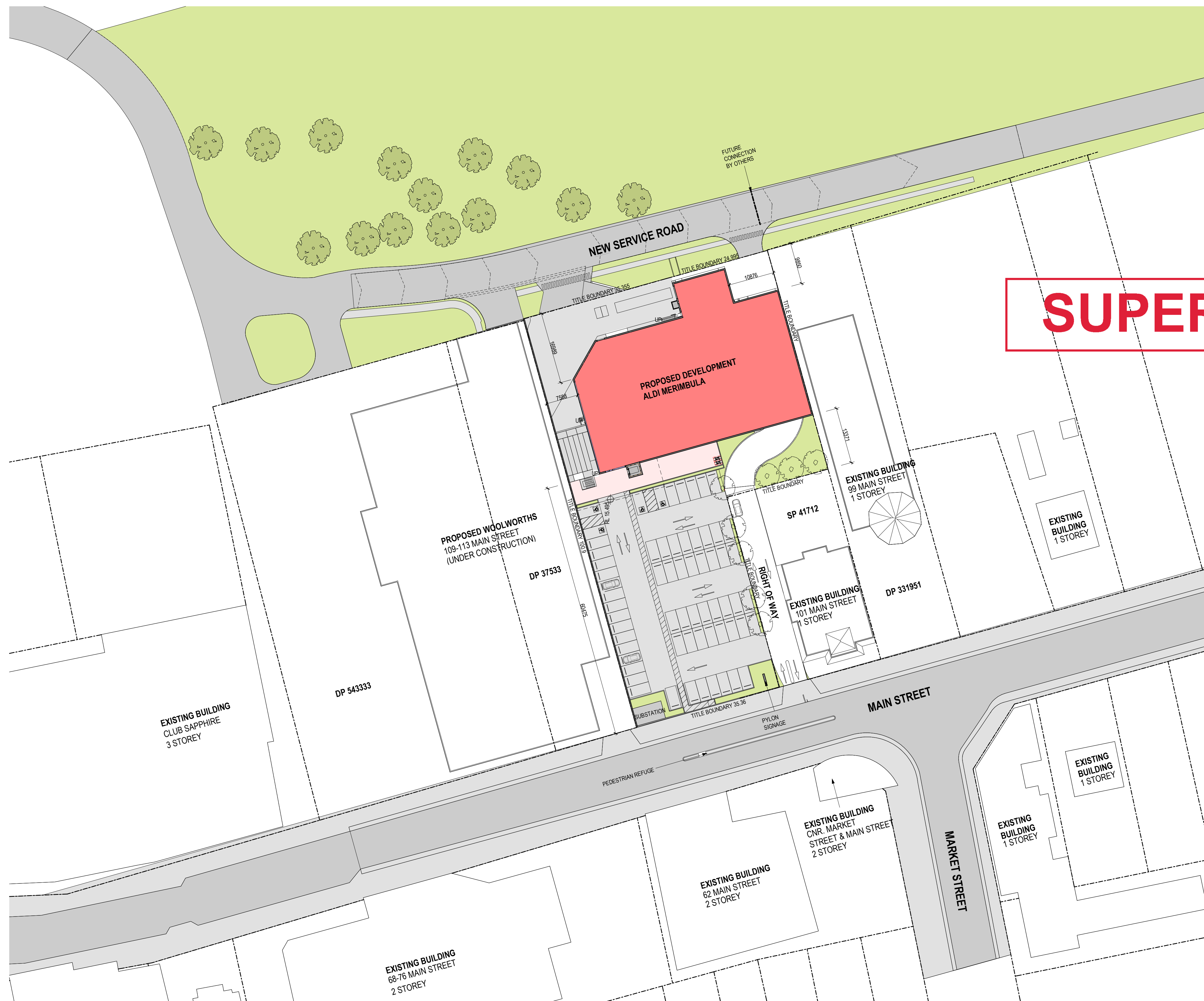
P7

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**SUPERSEDED**

CAR SPACES	
LEVEL BASEMENT	38
LEVEL STORE	63
101	

Revisions	
P8	14.09.17 For Client Review
P9	18.09.17 Draft D.A.
P10	25.09.17 Internal review
P11	26.09.17 Client Review prior D.A. submission
	27.09.17 D.A. Submission

JM  
AK  
JM  
JM  
AK

Project **MERIMBULA ALDI**

Drawing **SITE PLAN**

Project No. **216142** Date **01/05/17**

Author **JC**

Scale: @ A1 **1 : 500**

Drawing No. **TP00.01 P11**

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SURVEYS CONDUCTED BY:  
CADDEY SEARL & JARMAN CONSULTING SURVEYORS ON  
30/05/2017 AND 01/09/2017

Revisions	P4	14.09.17	For Client Review
	P5	18.09.17	Draft D.A.
	P6	25.09.17	Internal review
	P7	26.09.17	Client Review prior D.A. submission
		27.09.17	D.A. Submission

JM  
AK  
JM  
JM  
AK

Project **MERIMBULA ALDI**

Drawing **SITE SURVEY**

Project No **216142** Date **14/08/17**

Author **JC**

Scale: @ A1 **1 : 500**

Drawing No. **TP00.02 P7**

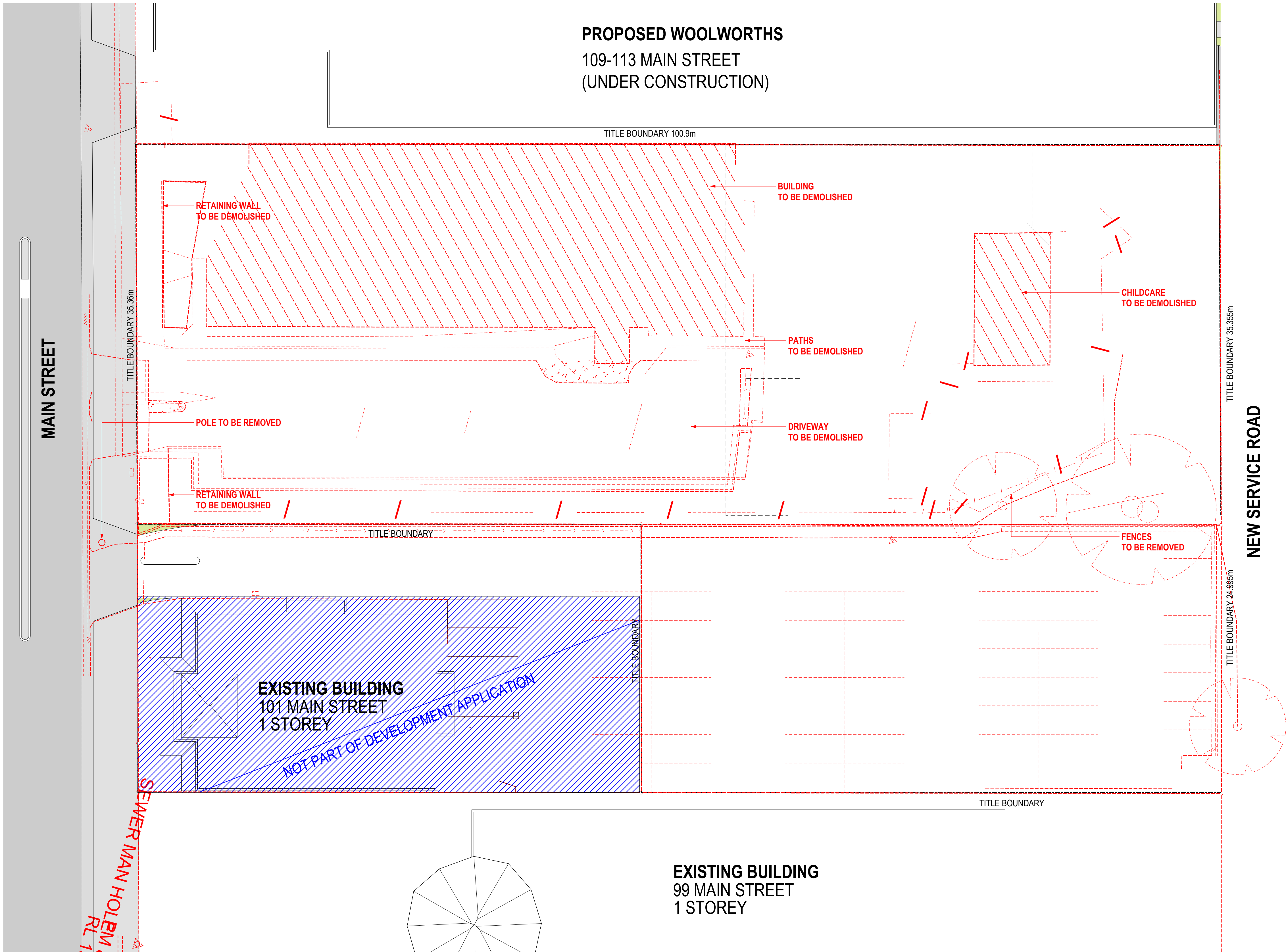
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#### DEMOLITION NOTES

CONTRACTOR TO CONFIRM EXISTING CONDITIONS ON SITE.

CONTRACTOR TO DEMOLISH EXISTING STRUCTURE/REMOVE ALL MATERIALS, CUT AND SEAL SERVICES AS REQUIRED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS AND A.S. CODES FOR THAT TRADE U.N.O

PROTECTION OF WORKS AS REQUIRED BY LOCAL AUTHORITIES

CLEANING OF SITE TO EPA REQUIREMENTS BY CONTRACTOR

#### ASBESTOS

CONTRACTOR TO ALLOW FOR COMPLETE DEMOLITION & REMOVAL OF ALL ASBESTOS PRODUCTS. ALL ASBESTOS PRODUCTS TO BE REMOVED & HANDLED AS PER RELEVANT AUSTRALIAN STANDARDS

**EXTENT OF DEMOLITION WORK AS INDICATED ON THIS DRAWING & HERITAGE CONSULTANTS DRAWINGS & SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:**

REMOVAL/DEMOLITION OF ALL EXISTING FLOOR/SLABS & FOOTINGS, EXTERNAL AND INTERNAL WALLS, WINDOWS, DOORS, CLADDING, GUTTERS, DOWNPIPES, RAINWATER HEADS, CAPPINGS, FLASHING GUTTER BOARD SUPPORTS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING WORKS INCLUDING BUT NOT LIMITED TO EXTERNAL STEPS, PATHS, CARPARKS, PLANTERS & LANDSCAPING, GATES, FENCES, GARDEN WALLS, RETAINING WALLS, BOLLARDS, LIGHT BLADES SIGNS, COLUMNS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING FIXTURES AND FITTINGS INCLUDING BUT NOT LIMITED TO LIGHTS, TAPS, BASINS, WCS ETC. DISCONNECTION & REMOVAL OF EXISTING SERVICES TO BE UNDERTAKEN BY APPROPRIATE CONTRACTORS

CONTRACTOR TO MAKE GOOD DAMAGE TO ADJOINING BUILDINGS, PAVEMENT, LANEWAYS, ROADS, FENCES, KERBS, CHANNELS, SERVICES, STREET FURNITURE, CARSPACE MARKINGS ETC. (IE. ANY ADJOINING OBJECTS/MATERIALS NOT WITHIN SITE BOUNDARY) RESULTING FROM DEMOLITION WORKS.

ALL REPAIRS TO AUTHORITY REQUIREMENTS OR TO CONDITION PRIOR TO DEMOLITION. CONTRACTORS ARE RESPONSIBLE FOR RELOCATION AND CO-ORDINATION OF ROAD CARPARKING MARKINGS, TICKET MACHINES ETC.

#### PRELIMINARY

PRECAUTIONARY MEASURES TO BE UNDERTAKEN AS DESCRIBED IN AS 2601-2001. A "HAZARDOUS SUBSTANCES MANAGEMENT PLAN" IS TO BE IMPLEMENTED BEFORE AND DURING DEMOLITION IF THE PRELIMINARY INVESTIGATION OF THE BUILDING IDENTIFIES ANY HAZARDOUS MATERIALS CONTAINED THEREIN. THESE MATERIALS WILL BE REMOVED AS PER THE GUIDELINES OF THE RESPONSIBLE AUTHORITY AND CLEARANCE CERTIFICATE OBTAINED BEFORE DEMOLITION COMMENCES.

#### SAFETY FENCING

SECURITY FENCES SHALL BE PROVIDED TO THE STREET BOUNDARY OF THE DEMOLITION SITE AND ANY ADDITIONAL PRECAUTIONARY MEASURES, TAKEN AS MAY BE NECESSARY TO PREVENT UNAUTHORISED ENTRY TO THE SITE, WHERE THE DEMOLITION SITE ADJOINS A PUBLIC THOROUGHFARE THE COMMON BOUNDARY BETWEEN THEM SHALL BE FENCED FOR ITS FULL LENGTH WITH A HOARDING UNLESS THE LEAST HORIZONTAL DISTANCE BETWEEN THE COMMON BOUNDARY AND THE NEAREST PART OF THE STRUCTURE IS GREATER THAN TWICE THE HEIGHT OF THE STRUCTURE. THE FENCING SHALL BE THE EQUIVALENT OF THE CHAIN WIRE AS SPECIFIED IN AS 1725

NOTICES LETTERED IN ACCORDANCE WITH AS 1319 AND DISPLAYING THE WORDS "WARNING DEMOLITION IN PROGRESS", OR SIMILAR, SHALL BE FIXED TO THE FENCING AT APPROPRIATE PLACES TO WARN THE PUBLIC. PROVISION SHALL BE MADE FOR READY ACCESS TO THE SITE BY EMERGENCY SERVICES PERSONNEL IN THE EVENT OF FIRE OR ACCIDENT

#### DEMOLITION WORK

STRUCTURES SHALL BE DEMOLISHED IN THE REVERSE ORDER TO THAT OF THEIR CONSTRUCTION. THE ORDER OF DEMOLITION FOR BUILDINGS SHALL BE PROGRESSIVE, STOREY BY STOREY, HAVING PROPER REGARD TO THE TYPE OF CONSTRUCTION. NO PART OF ANY STRUCTURE SHALL BE LEFT UNSUPPORTED OR UNATTENDED IN SUCH A CONDITION THAT IT MAY COLLAPSE OR BECOME DANGEROUS. PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT THE STABILITY OF ALL PARTS OF THE STRUCTURE, AND THE SAFETY OF PERSONS ON AND OUTSIDE THE SITE, WILL BE MAINTAINED IN THE EVENT OF SUDDEN AND SEVERE WEATHER CHANGES.

WALLS ON THE BOUNDARIES ARE TO BE DEMOLISHED IN A SAFE AND WORKMANSHIP LIKE MANNER. WALLS SHALL NOT BE LATEROALLY LOADED BY ACCUMULATED DEBRIS OR RUBBLE, TO THE EXTENT THAT THEY ARE IN DANGER OF COLLAPSE. ALLOWABLE LOADING OF THE SUSPENDED FLOORS SHALL BE DETERMINED BY AN INDEPENDENT STRUCTURAL ENGINEER.

#### DUST CONTROL

THE TECHNIQUES ADOPTED FOR STRIPPING OUT AND FOR DEMOLITION SHALL MINIMISE THE RELEASE OF DUST INTO THE ATMOSPHERE. BEFORE THE COMMENCEMENT OF STRIPPING OR DEMOLITION IN AN AREA OF A STRUCTURE, ANY EXISTING ACCUMULATIONS OF DUST IN THAT AREA SHALL BE COLLECTED, PLACED IN SUITABLE CONTAINERS AND REMOVED. SELECTION OF AN APPROPRIATE COLLECTION TECHNIQUE, SUCH AS VACUUMING OR HOISING DOWN, SHALL TAKE DUE ACCOUNT OF THE NATURE OF THE DUST AND THE TYPE OF HAZARD IT PRESENTS. DUST GENERATED DURING STRIPPING, OR DURING THE BREAKING DOWN OF THE BUILDING FABRIC TO REMOVABLE SIZED PIECES, SHALL BE KEPT DAMP UNTIL IT IS REMOVED FROM THE SITE OR CAN BE OTHERWISE CONTAINED. THE USE OF EXCESS WATER FOR THIS PURPOSED SHALL BE AVOIDED.

#### NOISE CONTROL

NOISE SHALL BE MINIMISED AS FAR AS PRACTICABLE, BY THE SELECTION OF APPROPRIATE METHODS AND EQUIPMENT, AND BY THE USE OF SILENCING DEVICES WHEREVER PRACTICABLE TO EPA/CODE REQUIREMENTS.

#### NOTE:

1. ATTENTION IS DRAWN TO RECOMMENDATIONS IN AS 2436  
2. HOURS OF OPERATING EQUIPMENT MAY BE RESTRICTED BY REGULATORY AUTHORITY

#### FIRE SERVICES

WHERE A FIRE HYDRANT SERVICE OR A FIRE HOSE REEL SERVICE IS PROVIDED IN A BUILDING, IT SHALL BE AVAILABLE AT ALL TIMES DURING THE DEMOLITION OF THE BUILDING, SO THAT ALL REMAINING STOREYS EXCEPT THE TWO UPPERMOST STOREYS, ARE, SERVICED. ACCESS TO THE FIRE PROTECTION SERVICES, INCLUDING ANY BOOSTER FITTING, SHALL BE MAINTAINED AT ALL TIMES. IF A SPRINKLER SYSTEM IS INSTALLED IN A BUILDING TO BE DEMOLISHED, IT SHALL BE MAINTAINED IN AN OPERABLE CONDITION AT EACH STOREY BELOW THE TWO UPPERMOST UNSTRIPPED STOREYS.

SUITABLE PORTABLE FIRE EXTINGUISHERS SHALL BE KEPT AT ALL TIMES IN WORKING AREA AND ARE NOT PROTECTED BY OTHER FIRE SERVICES, AND MAINTAINED IN AN OPERABLE CONDITION.

#### ADJOINING PROPERTIES

SAFE ACCESS TO AND EGRESS FROM ADJOINING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES FOR THE DURATION OF THE DEMOLITION WORK. NO DEMOLITION ACTIVITY SHALL CAUSE DAMAGE TO OR ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF ADJOINING BUILDINGS. THE EFFECTS OF VIBRATION AND CONVERSION ON ADJOINING BUILDINGS AND THEIR OCCUPANTS SHALL BE MINIMISED BY SELECTING DEMOLITION METHODS AND EQUIPMENT APPROPRIATE TO THE CIRCUMSTANCES. WHERE ANY SURFACE OF AN ADJOINING BUILDING IS EXPOSED BY DEMOLITION, THE NEED FOR WEATHERPROOFING THE EXPOSED SURFACE SHALL BE INVESTIGATED AND TEMPORARY OR PERMANENT PROTECTION PROVIDED AS APPROPRIATE. PRECAUTIONS SHALL BE TAKEN TO MINIMISE THE SPREADING OF MUD AND DEBRIS BY VEHICLES LEAVING THE SITE.

#### GENERAL

OPENINGS IN EXISTING WALLS AND FLOORS, THROUGH WHICH THERE IS A RISK OF PERSONS FALLING TO LOWER LEVEL, SHALL BE EITHER PROPERLY GUARDED OR BOARDED OVER AND THE BOARDING SECURED AGAINST UNAUTHORISED OR ACCIDENTAL REMOVAL. PRECAUTIONS SHALL BE TAKEN TO PREVENT GLASS FROM FALLING ON ANY PERSON IN OR OUTSIDE THE BUILDING. DEMOLISHED MATERIAL SHALL NOT BE ALLOWED TO FALL FREELY OUTSIDE THE STRUCTURE UNLESS IT IS CONFINED WITHIN A CHUTE OR SIMILAR ENCLOSURE, WHICH IS CLEAR OF OBSTRUCTIONS TO OBJECTS FALLING FREELY.

DEMOLISHED MATERIAL SHALL BE REMOVED PROGRESSIVELY FROM THE SITE AND AT ANY TIME, SHALL NOT BE ALLOWED TO ACCUMULATE TO THE EXTENT THAT IT PRESENTS A HAZARD TO THE PUBLIC OR TO SITE PERSONNEL.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH HERITAGE CONSULTANTS DRAWINGS AND SPECIFICATIONS

#### SITE PROTECTION/SHORING LEGEND

PERMANENT SITE SHORING

TEMPORARY SITE SHORING

NOTE:

REFER STRUCTURAL ENGINEERS DRAWINGS FOR ALL SITE PROTECTION AND SHORING DETAILS

**NOTE: SEE CIVIL ENGINEERS DRAWING FOR EXTENT OF DEMOLITION**

Revisions			
P1	14.09.17	For Client Review	JM
P2	18.09.17	Draft D.A.	AK
P3	25.09.17	Internal review	JM
P4	26.09.17	Client Review prior D.A. submission	JM
	27.09.17	D.A Submission	AK

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#### LEGEND



TREES TO BE REMOVED



STRUCTURES TO BE DEMOLISHED

Project **MERIMBULA ALDI**

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Drawing **DEMOLITION PLAN**

Project No. **216142**

Date **12/09/17**

Author **JN**

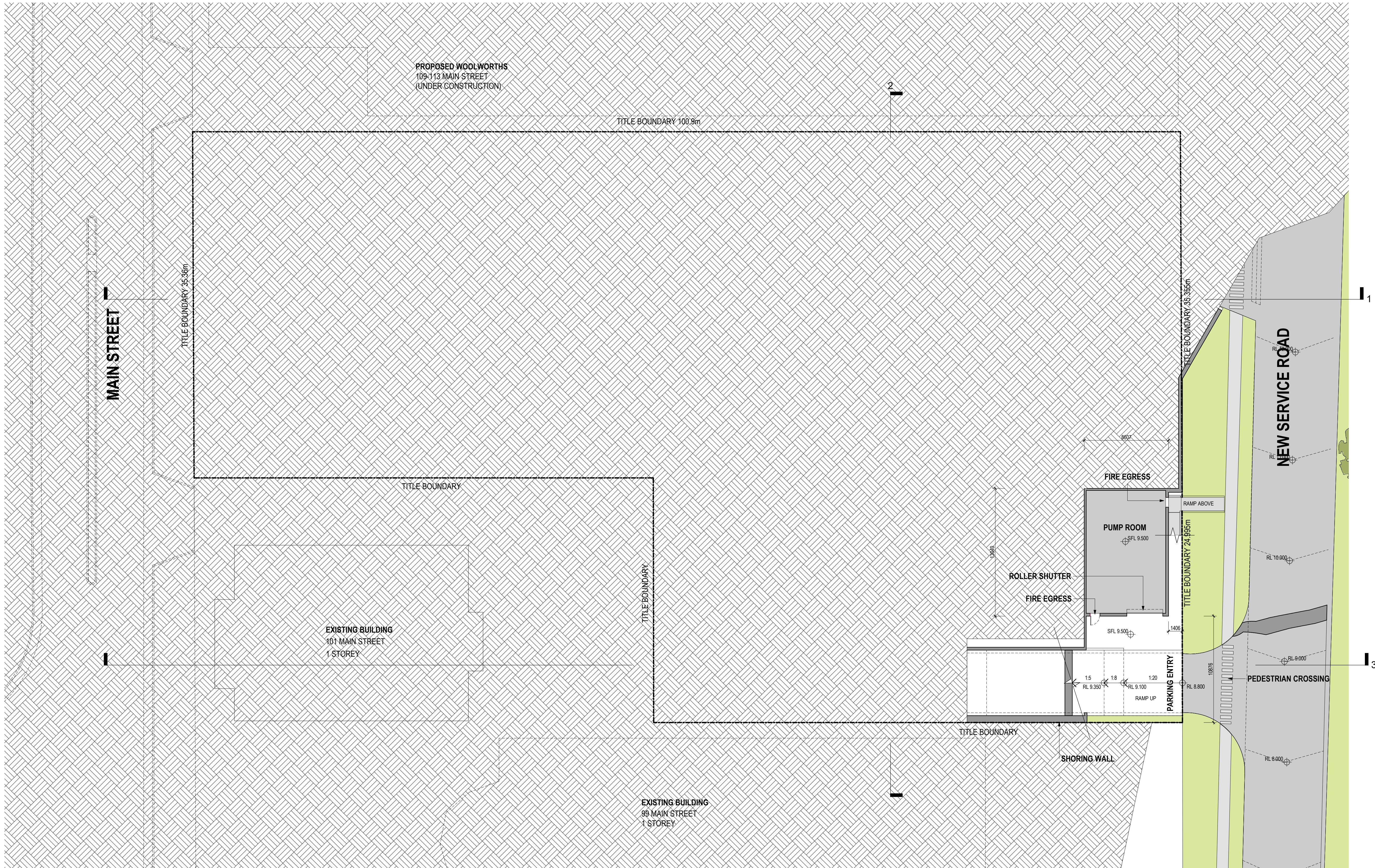
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Drawing No. **TP00.03 P4**

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Revisions	
P5	18.09.17 Draft D.A.
P6	25.09.17 Coordination
P7	25.09.17 Internal review
P8	26.09.17 Client Review prior D.A. submission
	27.09.17 D.A Submission

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JM  
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Project **MERIMBULA ALDI**

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Drawing **LEVEL NEW SERVICES  
RD PLAN**

Project No. **216142**

Date **14/08/17**

Author **JC**

Scale: @ A1 **1 : 200**

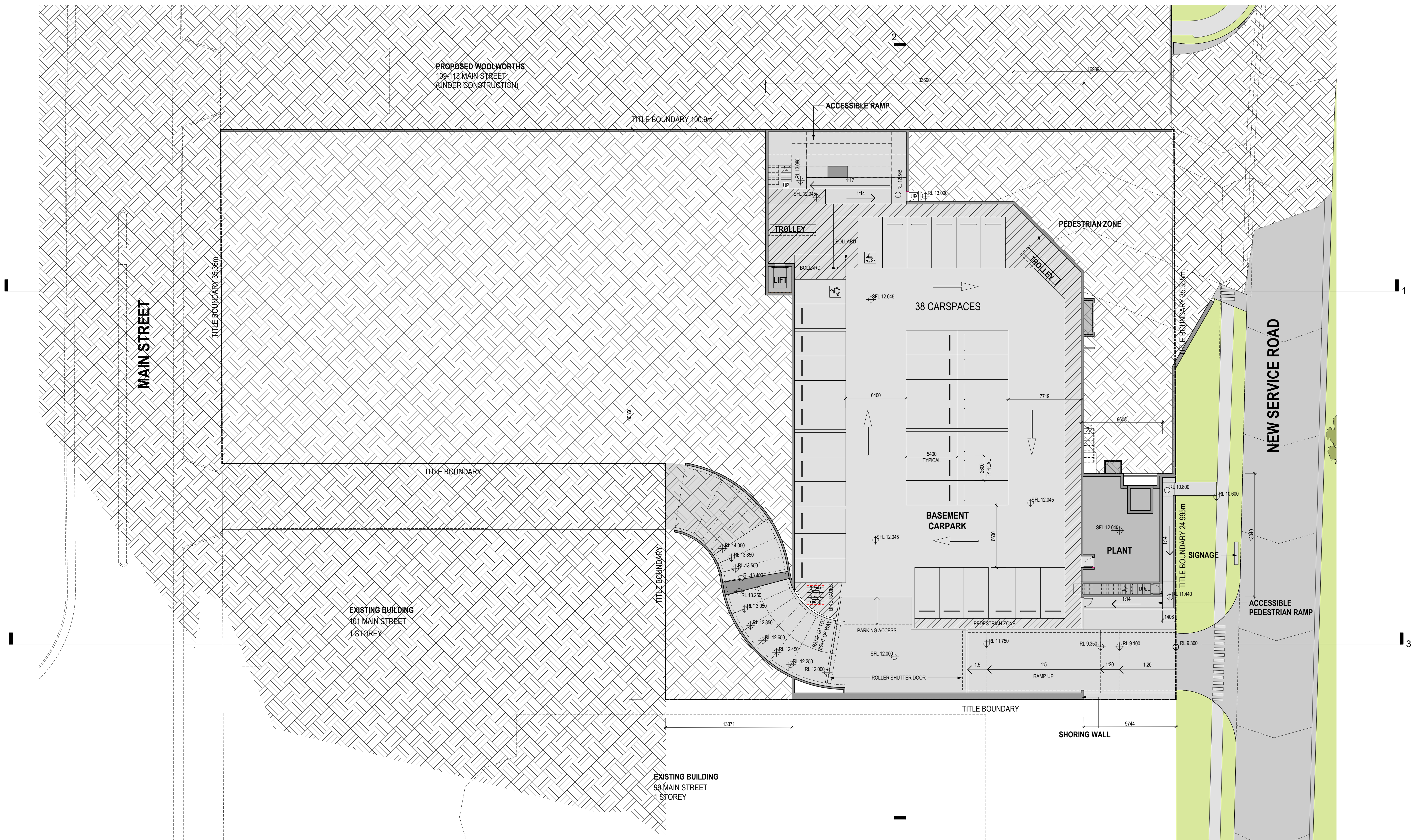
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SUPERSEDED



CAR SPACES	
LEVEL BASEMENT	38
LEVEL STORE	63
101	

Revisions	
P9	18.09.17 Draft D.A.
P10	25.09.17 Coordination
P11	25.09.17 Internal review
P12	26.09.17 Client Review prior D.A. submission
	27.09.17 D.A. Submission

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JM  
JM  
AK

Project / **MERIMBULA ALDI**

Drawing / **LEVEL BASEMENT PLAN**

Project No / **216142**

Date / **03/05/17**

Author / **JC**

Scale: @ A1 / **1 : 200**

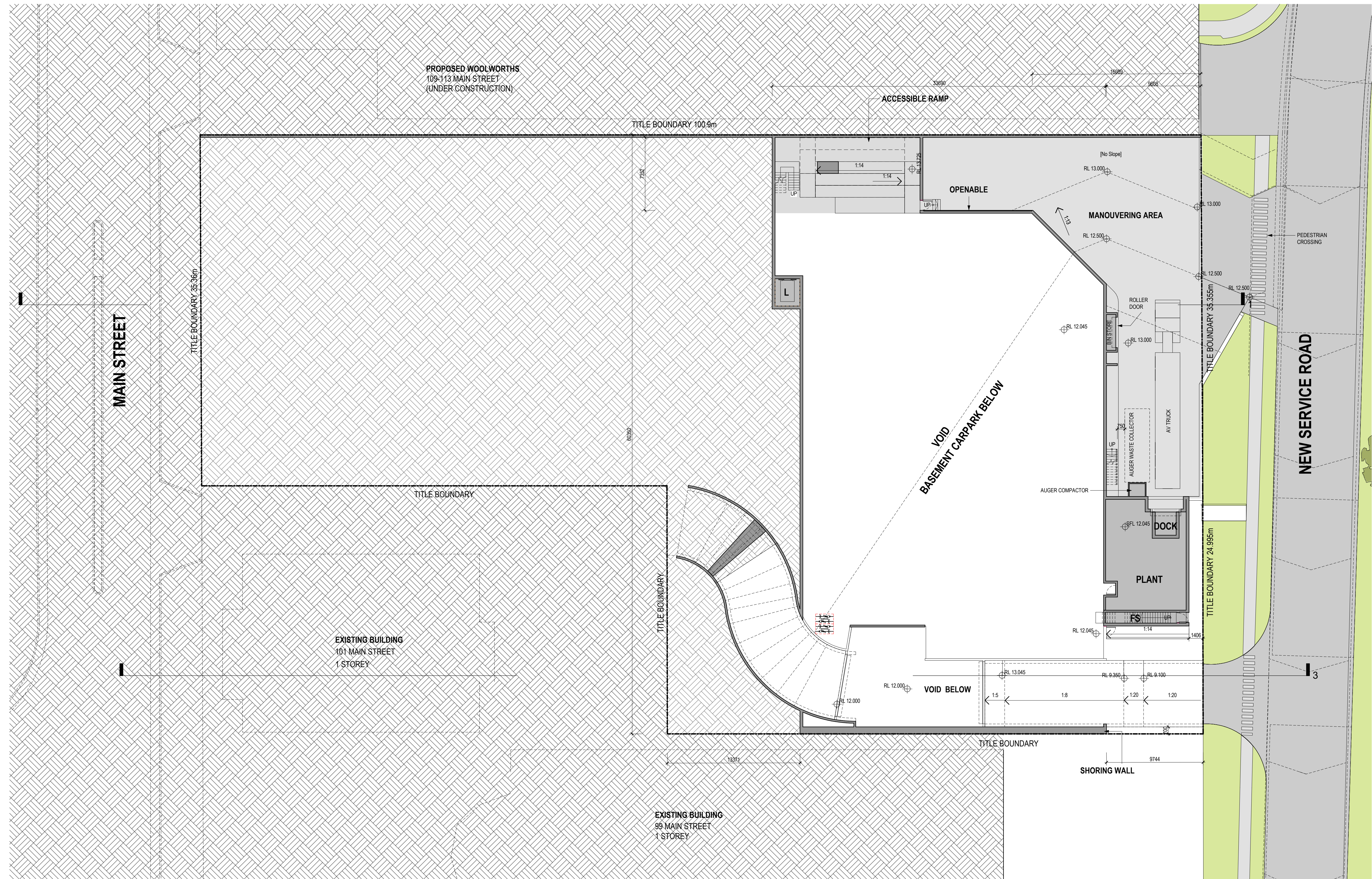
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Revisions	P5	18.09.17	Draft D.A.
	P6	25.09.17	Coordination
	P7	25.09.17	Internal review
	P8	26.09.17	Client Review prior D.A. submission
		27.09.17	D.A Submission

AK  
JM  
JM  
JM  
AK

Project / **MERIMBULA ALDI**Drawing / **LEVEL DOCK PLAN**

Project No/ **216142**      Date/ **14/08/17**

Author / **JC**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.03 P8**

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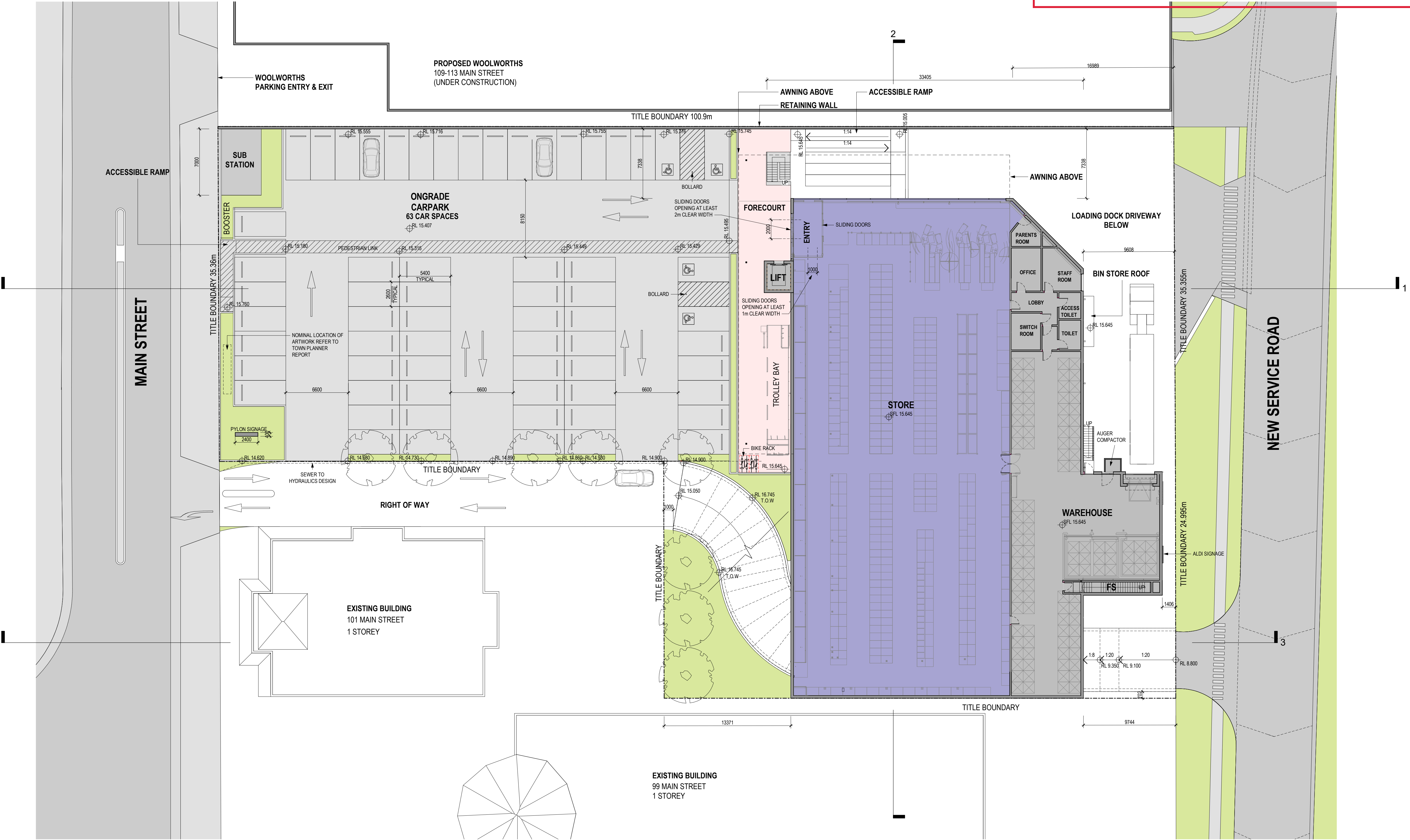
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Revisions	P9	18.09.17	Draft D.A.
	P10	25.09.17	Coordination
	P11	25.09.17	Internal review
	P12	26.09.17	Client Review prior D.A. submission
		27.09.17	D.A Submission

AK  
JM  
JM  
JM  
AK

Project / **MERIMBULA ALDI**

Drawing / **LEVEL STORE PLAN**

Project No/ **216142** Date/ **01/05/17**

Author / **JC**

Scale: @ A1 / **1 : 200**

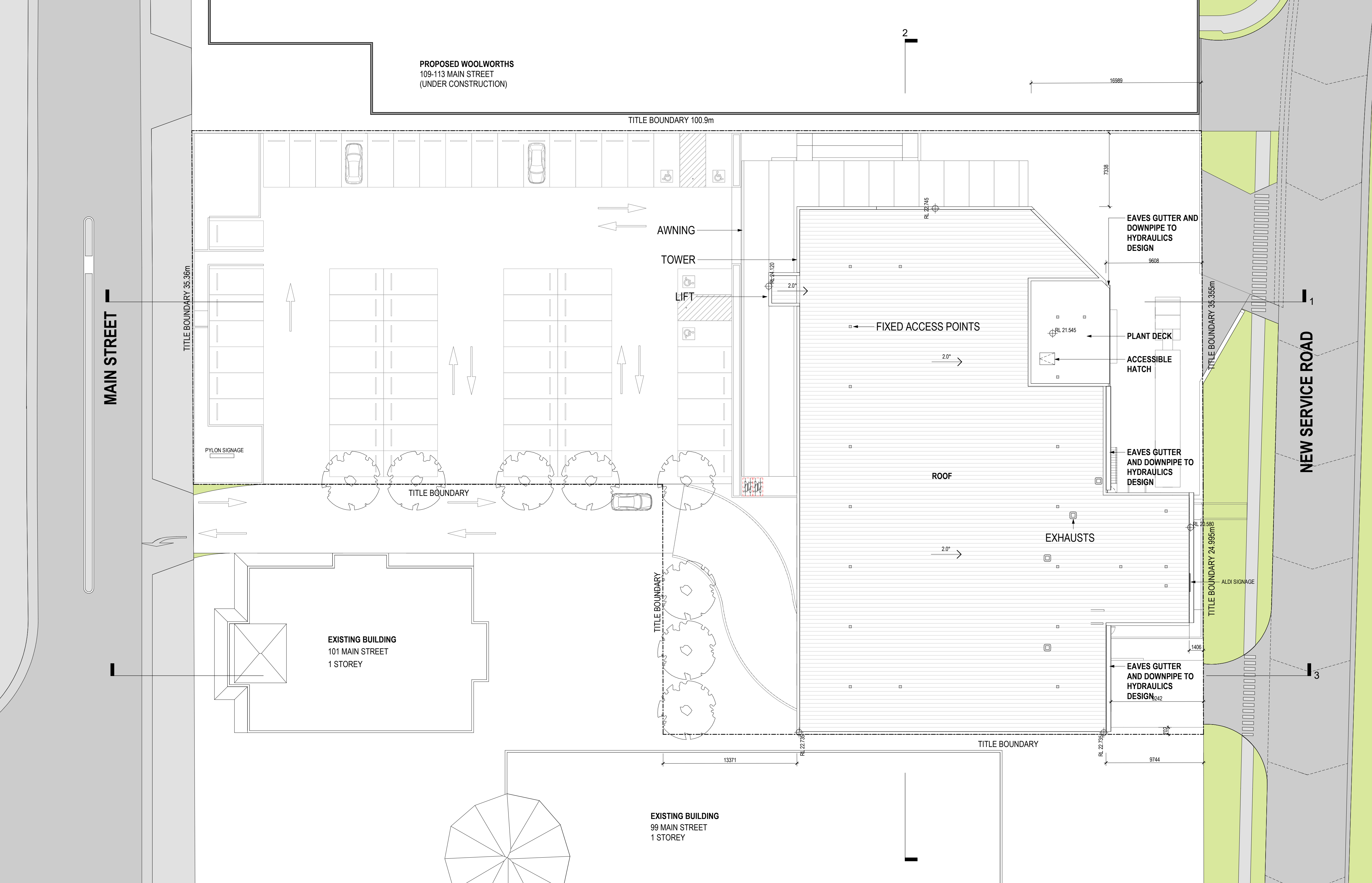
Drawing No. **TP01.04 P12**

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Revisions	P5	14.09.17	For Client Review	JM
	P6	18.09.17	Draft D.A.	AK
	P7	25.09.17	Internal review	JM
	P8	26.09.17	Client Review prior D.A. submission	JM
		27.09.17	D.A Submission	AK

Project / **MERIMBULA ALDI**

Drawing / **ROOF PLAN**

Project No. / **216142** Date / **29/06/17**

Author / **JC**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP01.05 P8**

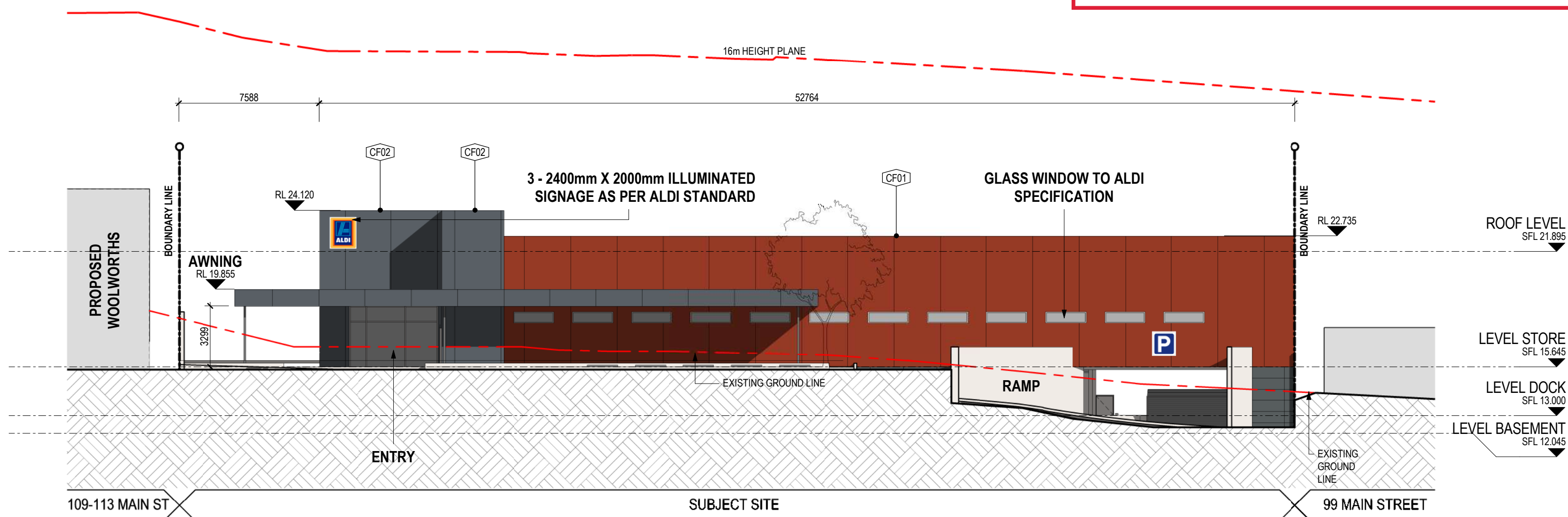
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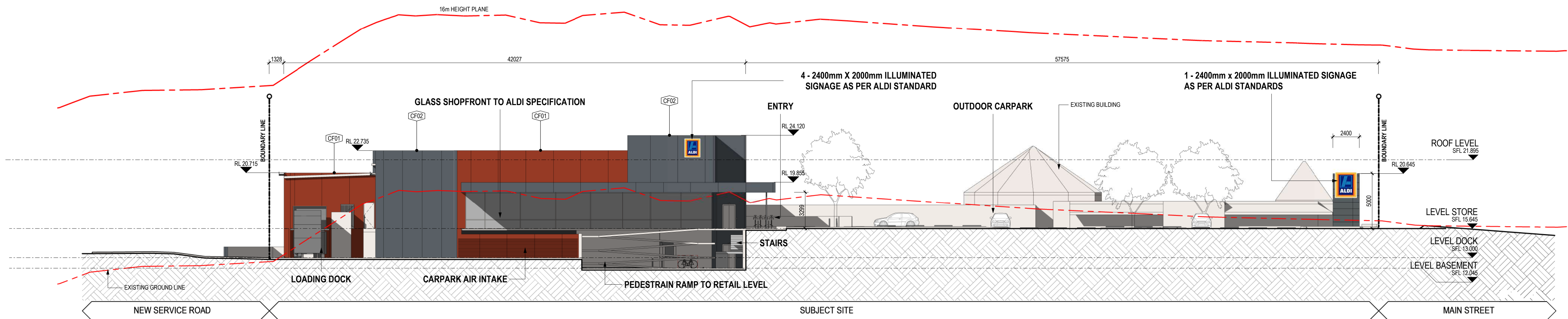
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SUPERSEDED



South Building Elevation



West Elevation

Revisions	P10 25.09.17 Internal review	JM
	P11 26.09.17 Client Review prior D.A. submission	JM
	27.09.17 D.A. Submission	AK
	10.10.17 D.A. Submission: Notes Added Regarding Signage	AK

10/10/2017 11:07:34 AM

FINISHES	REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR
(MF01)	METAL FINISH TYPE 01
(CF01)	CONCRETE FINISH TYPE 01
(CF02)	CONCRETE FINISH TYPE 02

Project / MERIMBULA ALDI

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MERIMBULA, NSW, 2548

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Drawing / ELEVATIONS

Project No / 216142 Date / 03/05/17

Author / AK

Scale: @ A1 / 1 : 200

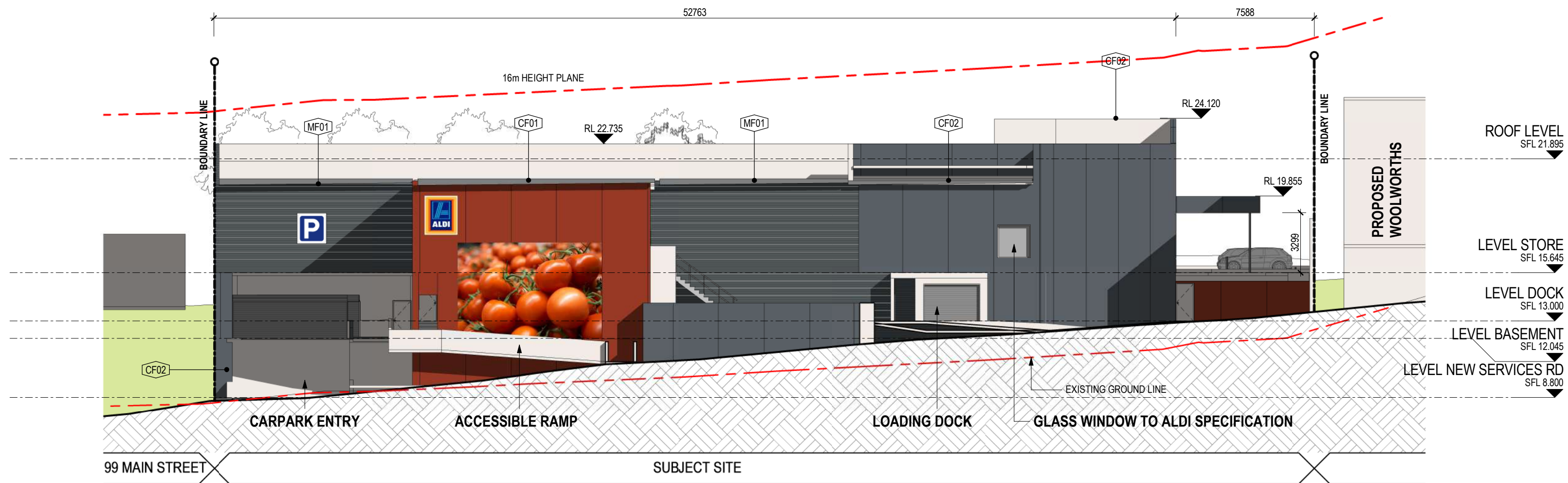
Drawing No. / TP02.01 P11

rothelowman

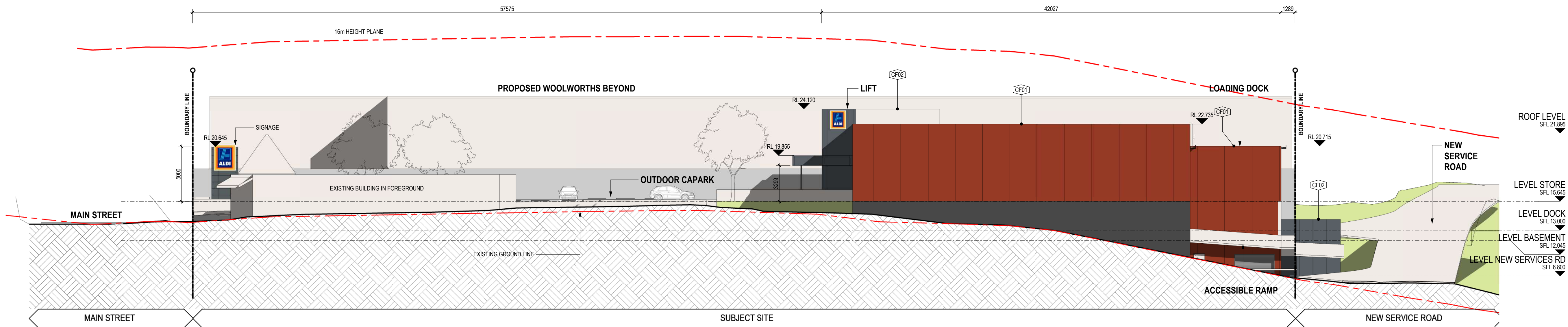
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SUPERSEDED



North Elevation



East Elevation

Revisions	P1	18.09.17	Draft D.A.
	P2	25.09.17	Internal review
	P3	26.09.17	Client Review prior D.A. submission
		27.09.17	D.A. Submission

AK  
JM  
JM  
AK

FINISHES  
REFER TO MATERIAL SELECTIONS FOR  
DESCRIPTION AND COLOUR

- (MF01) METAL FINISH TYPE 01
- (CF01) CONCRETE FINISH TYPE 01
- (CF02) CONCRETE FINISH TYPE 02

Project / **MERIMBULA ALDI**

103 MAIN STREET,  
MERIMBULA, NSW, 2548

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Author / **AK**

Scale: @ A1 / **1 : 200**

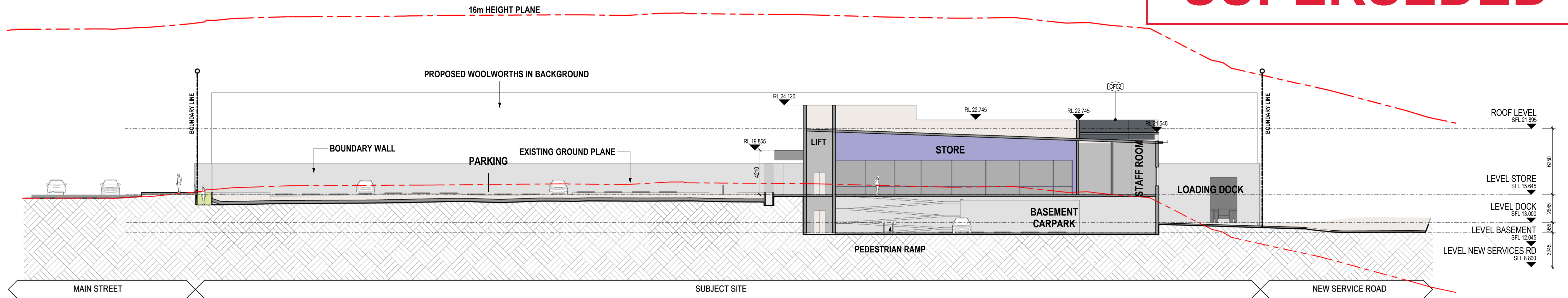
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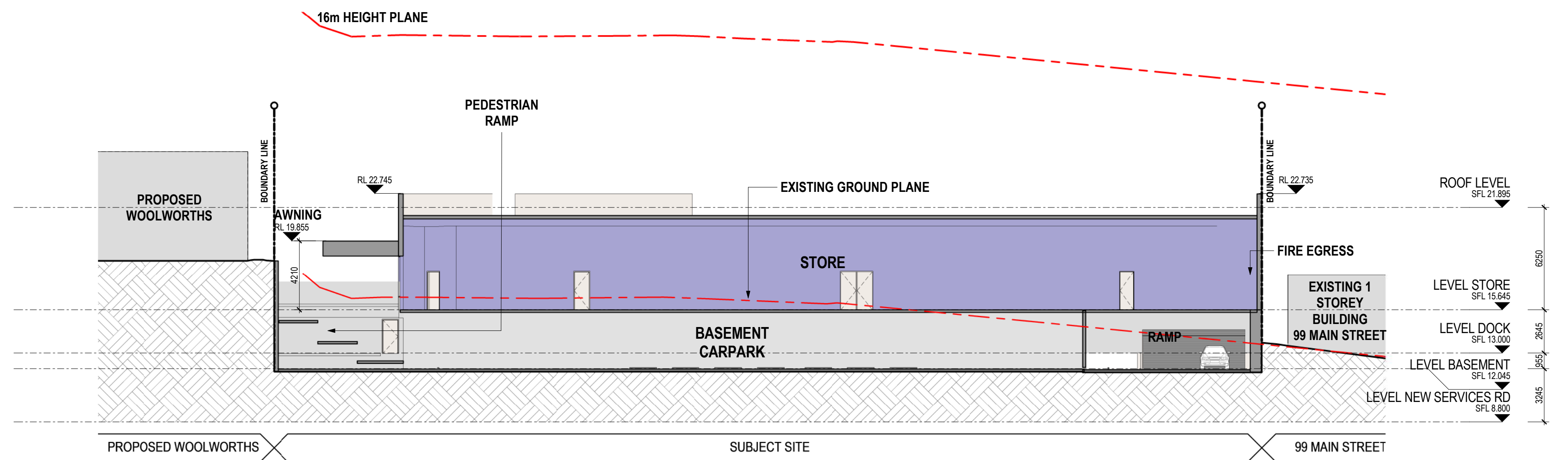
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www.rothelowman.com.au



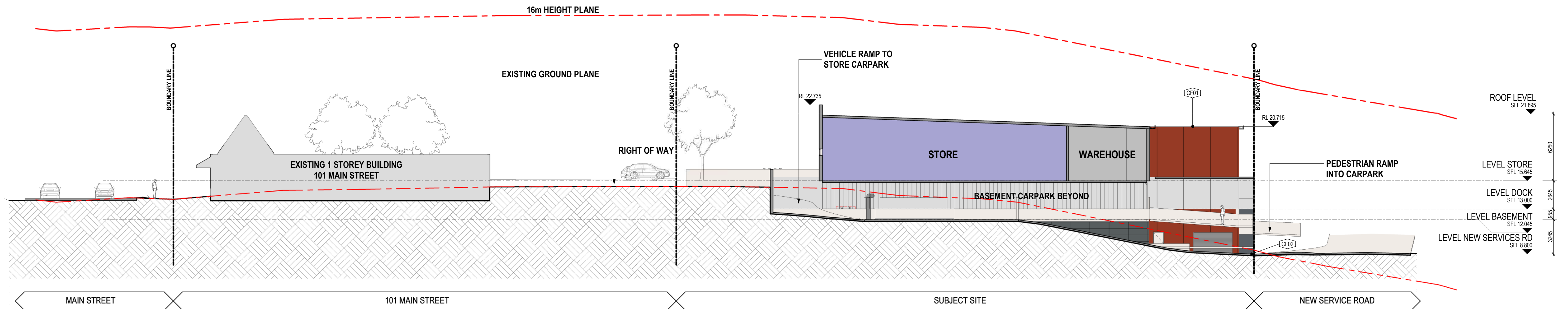
SUPERSEDED



Section 1



Section 2



Section 3

Revisions	P7	14.09.17	For Client Review	JM
	P8	18.09.17	Draft D.A.	AK
	P9	25.09.17	Internal review	JM
	P10	26.09.17	Client Review prior D.A. submission	JM
		27.09.17	D.A. Submission	AK

27/09/2017 4:59:09 PM

FINISHES	REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR
(MF01)	METAL FINISH TYPE 01
(CF01)	CONCRETE FINISH TYPE 01
(CF02)	CONCRETE FINISH TYPE 02

Project / **MERIMBULA ALDI**

Drawing / **SECTIONS**

Project No. / **216142** Date / **01/05/17**

Author / **AK**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP03.01 P10**

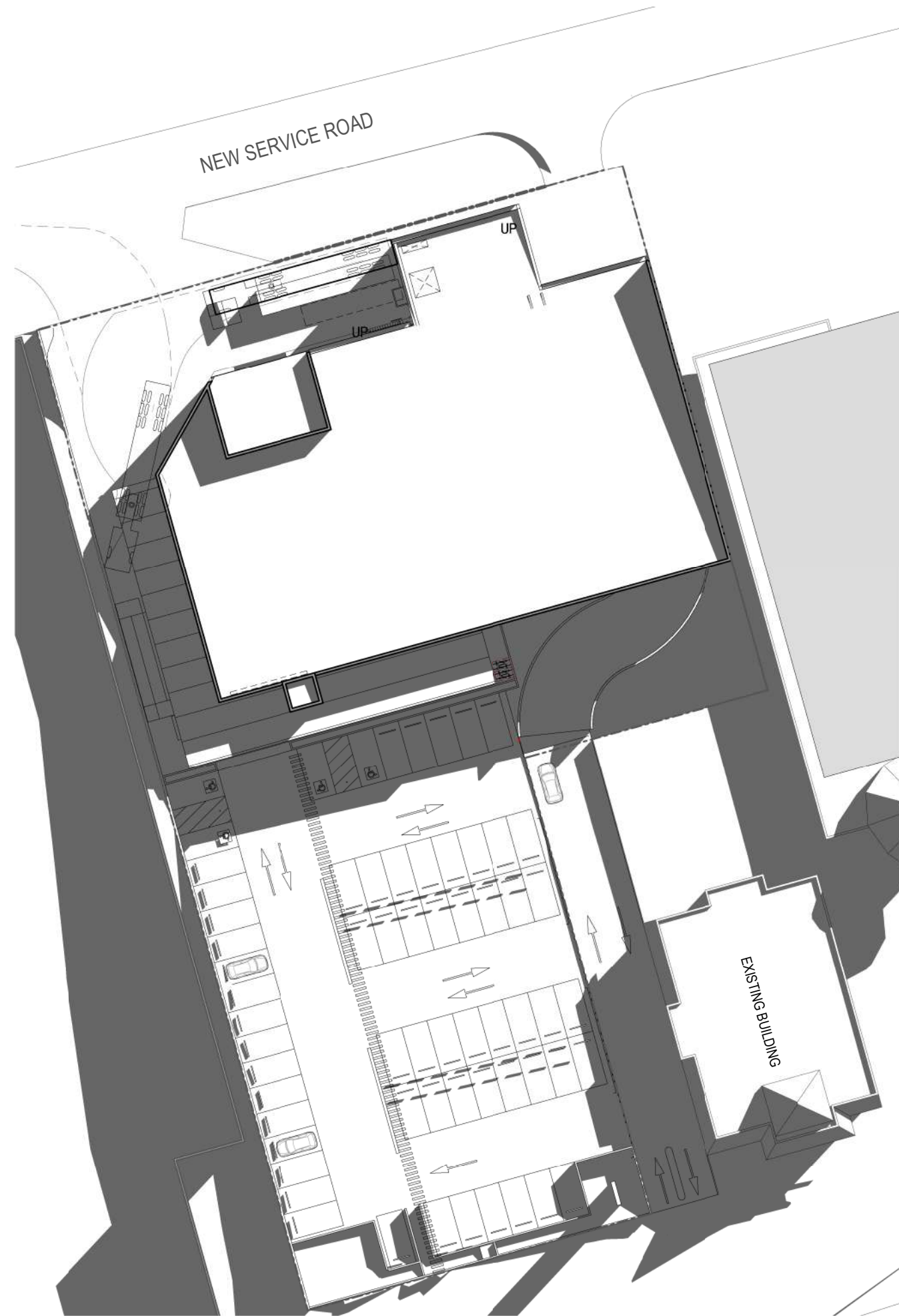
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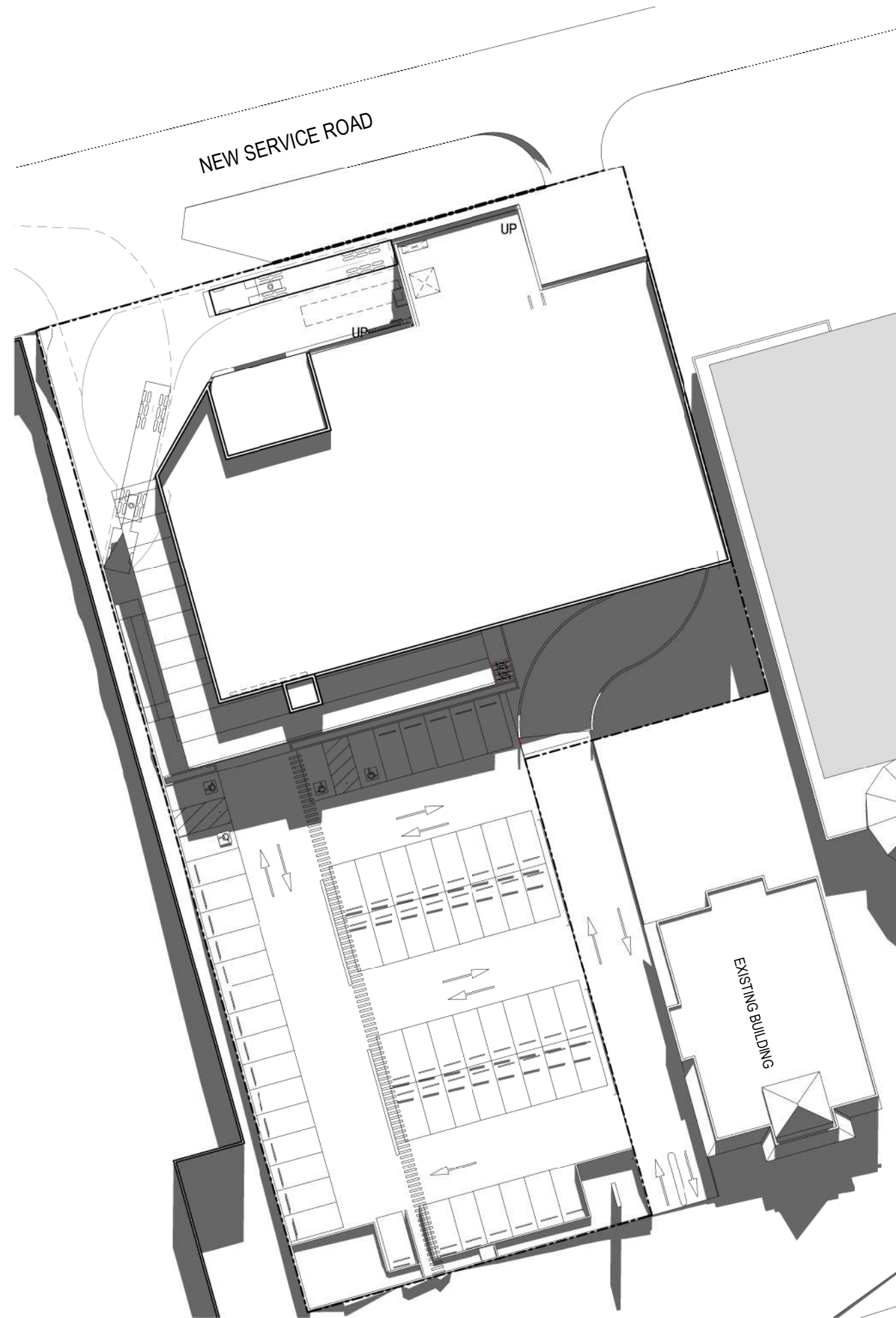
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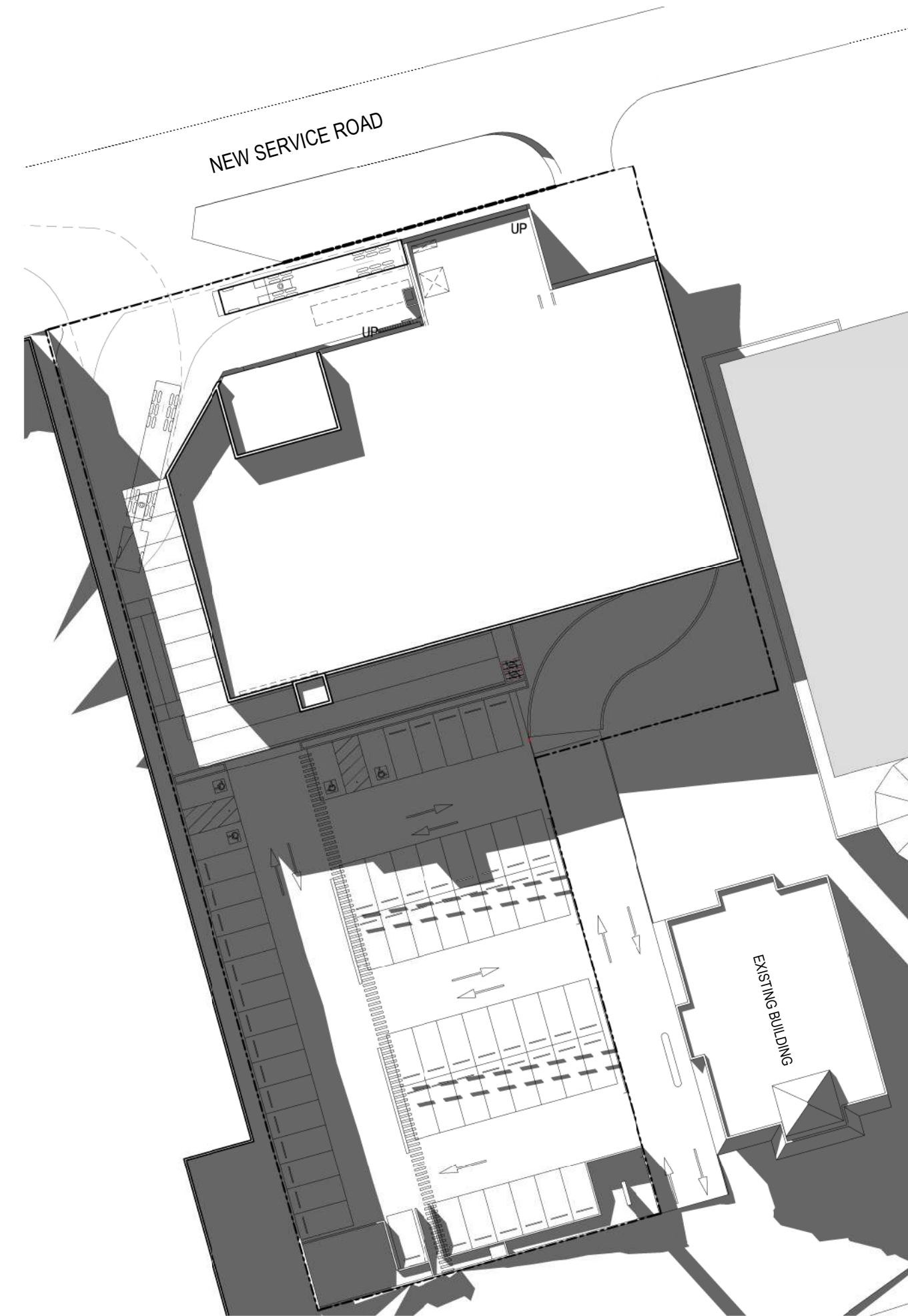




SHADOWS - WINTER SOLSTICE  
0900



SHADOWS - WINTER SOLSTICE  
1200



SHADOWS - WINTER SOLSTICE  
1500

Revisions	
P5	14.09.17 For Client Review
P6	18.09.17 Draft D.A.
P7	25.09.17 Internal review
P8	26.09.17 Client Review prior D.A. submission
	27.09.17 D.A Submission

JM  
AK  
JM  
AK

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Project **MERIMBULA ALDI**

Drawing **SHADOWS**

Project No. **216142**

Date **03/05/17**

Author **JC**

Scale: @ A1 **1 : 500**

Drawing No. **TP04.01 P8**

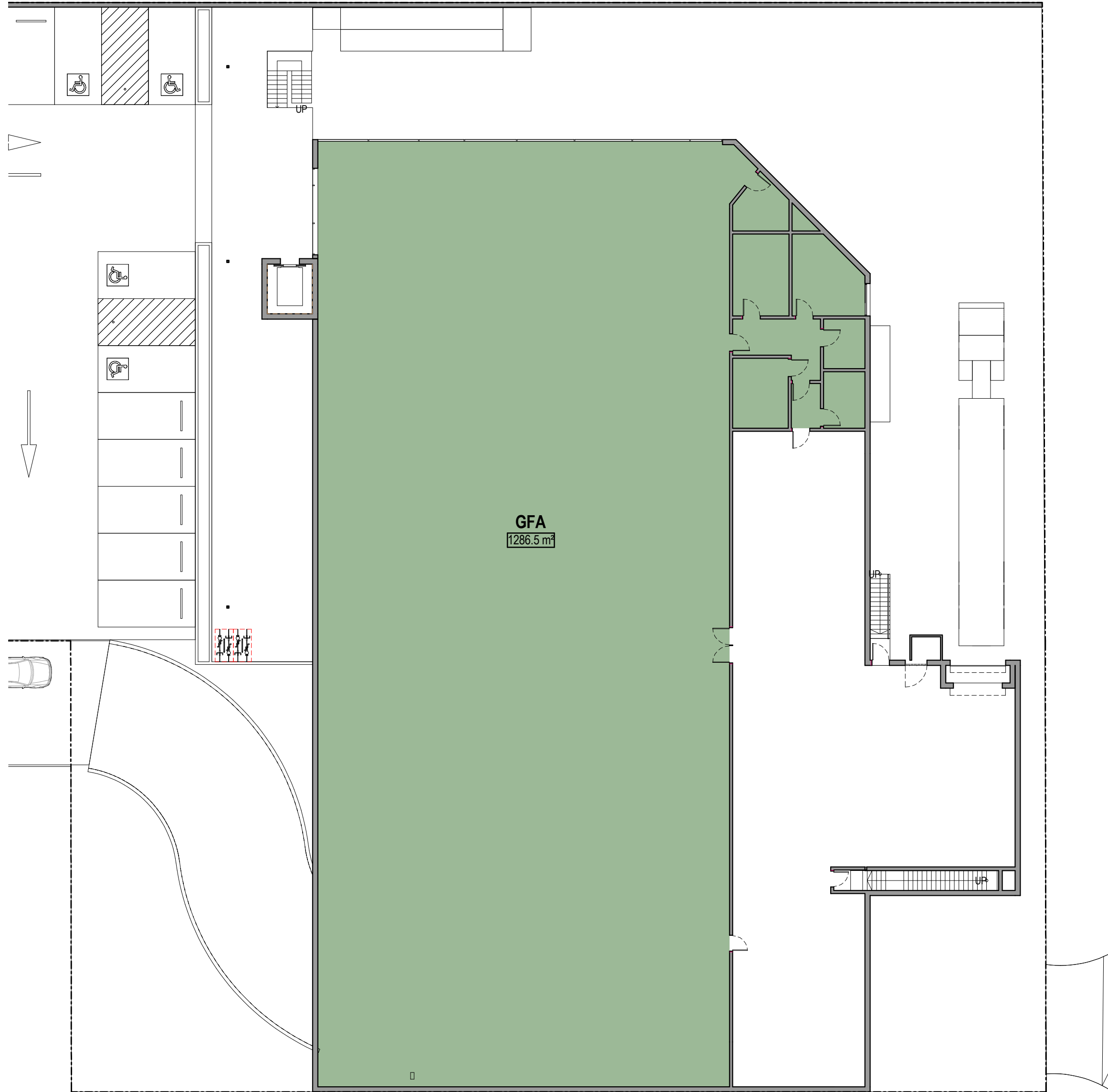
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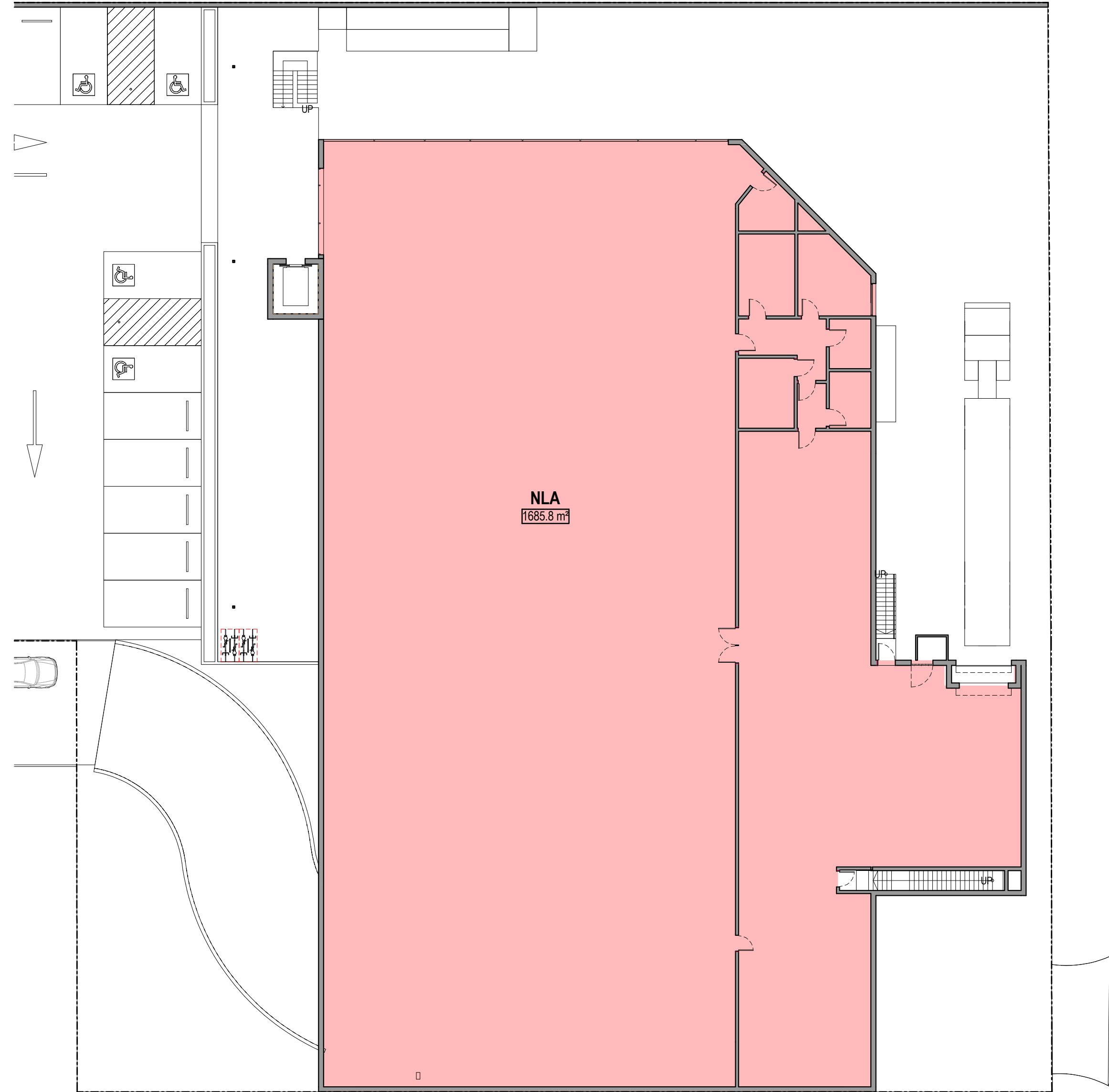




GFA - LEVEL STORE

GFA AREA CALCULATIONS
AREA
1286.5 m²

SITE AREA
4917.2 m²



NLA - LEVEL STORE

NLA AREA CALCULATIONS
Area
1685.8 m²

Revisions			
P1	14.09.17	For Client Review	JM
P2	18.09.17	Draft D.A.	AK
P3	25.09.17	Internal review	JM
P4	26.09.17	Client Review prior D.A. submission	JM
	27.09.17	D.A Submission	AK

27/09/2017 4:59:22 PM

Project / **MERIMBULA ALDI**

Drawing / **GFA & NLA PLAN**

Project No. / **216142** Date / **12.09.17**

Author / **JN**

Scale: @ A1 / **1 : 200**

Drawing No. / **TP04.02 P4**

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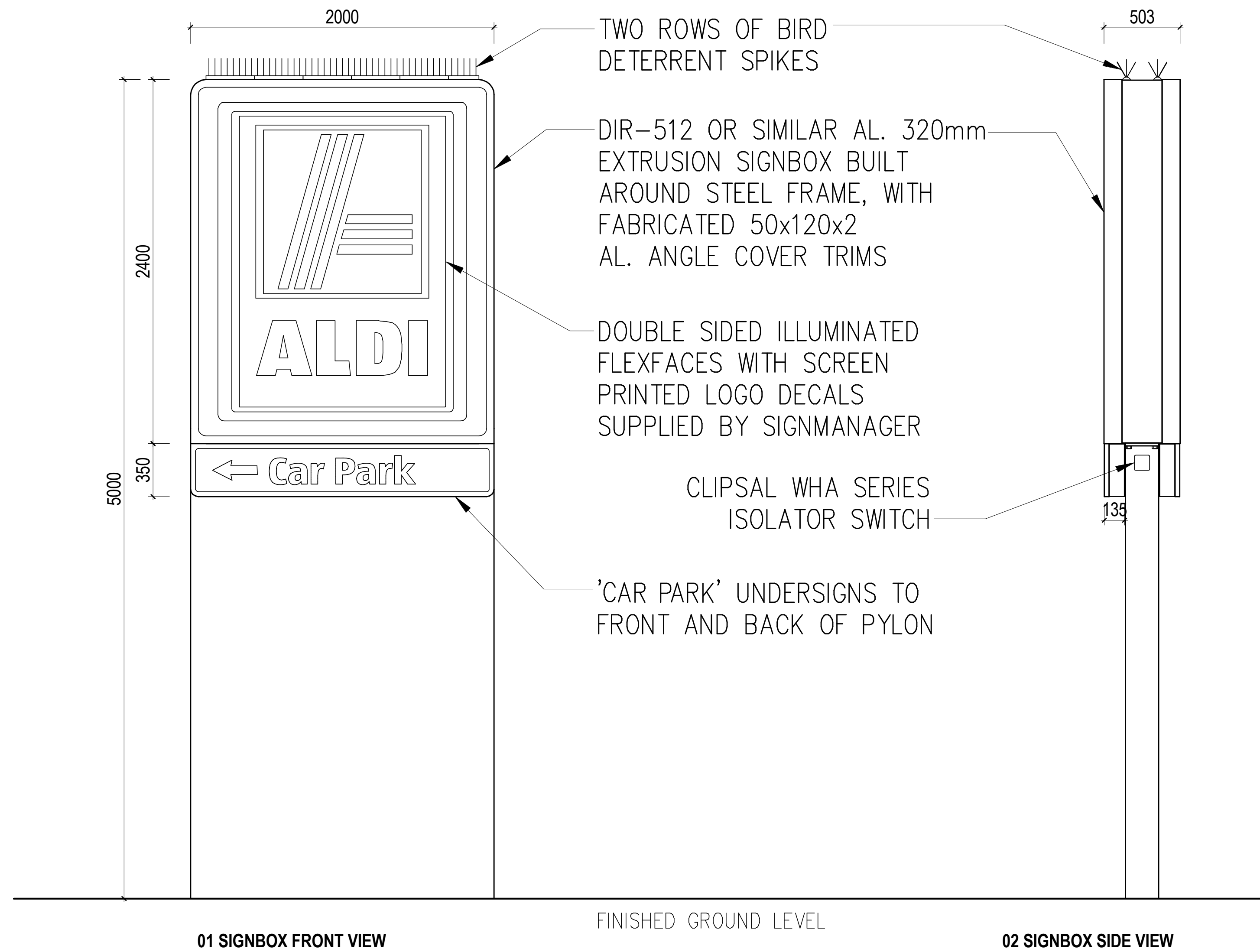
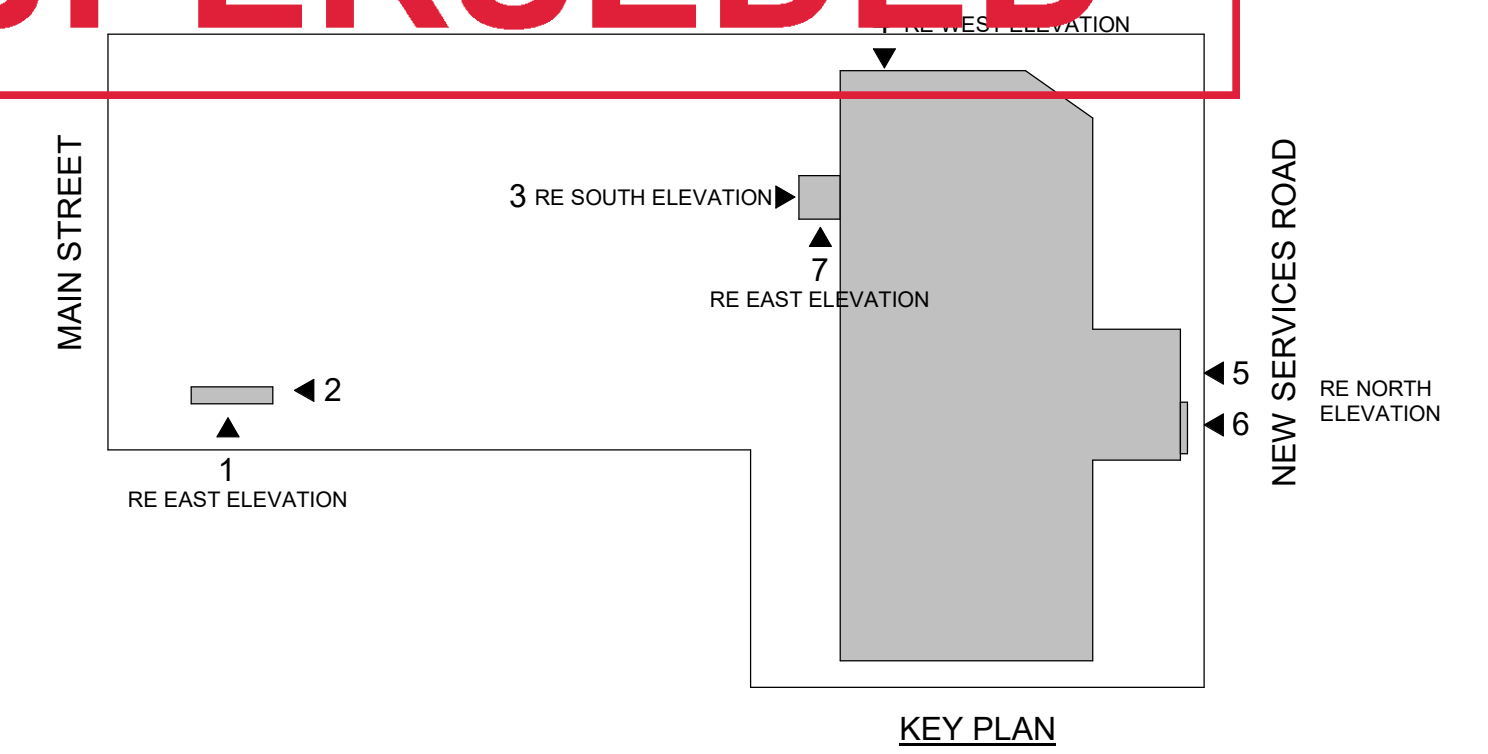
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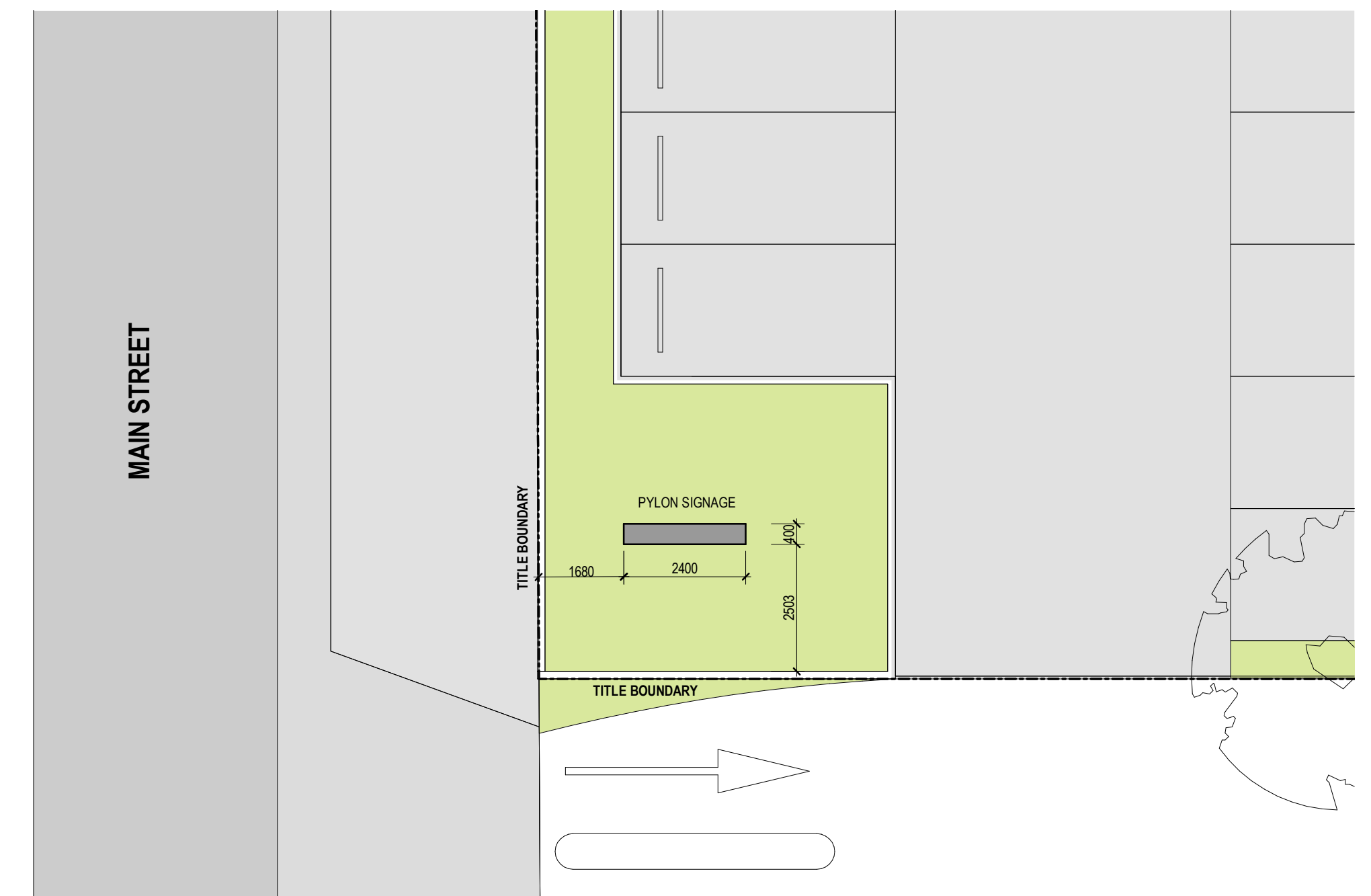


SUPERSEDED

- FOR ILLUMINATED SIGNAGE FIXED ON WALLS, REFER TO ELEVATIONS AS PER KEY PLAN
- FOR SIGNAGE BOX, REFER TO THIS DRAWING
- FOR STATUTORY SIGNAGE, REFER TO ALDI STANDARD DOCUMENTS PRODUCED BY SIGNMANAGER



ALDI SIGNAGE DETAIL



ALDI SIGNAGE - MAIN STREET

Revisions	P3	25.09.17	Internal review	JM
	P4	26.09.17	Client Review prior D.A. submission	JM
		27.09.17	D.A. Submission	AK
		10.10.17	D.A. Submission: Notes Added Regarding Signage	AK

10/10/2017 11:07:45 AM

Project / **MERIMBULA ALDI**

Drawing / **SIGNAGE PLAN**

Project No. / **216142**

Date / **09/13/17**

Author / **JN**

Scale: @ A1 / **As indicated**

Drawing No. / **TP04.03 P4**

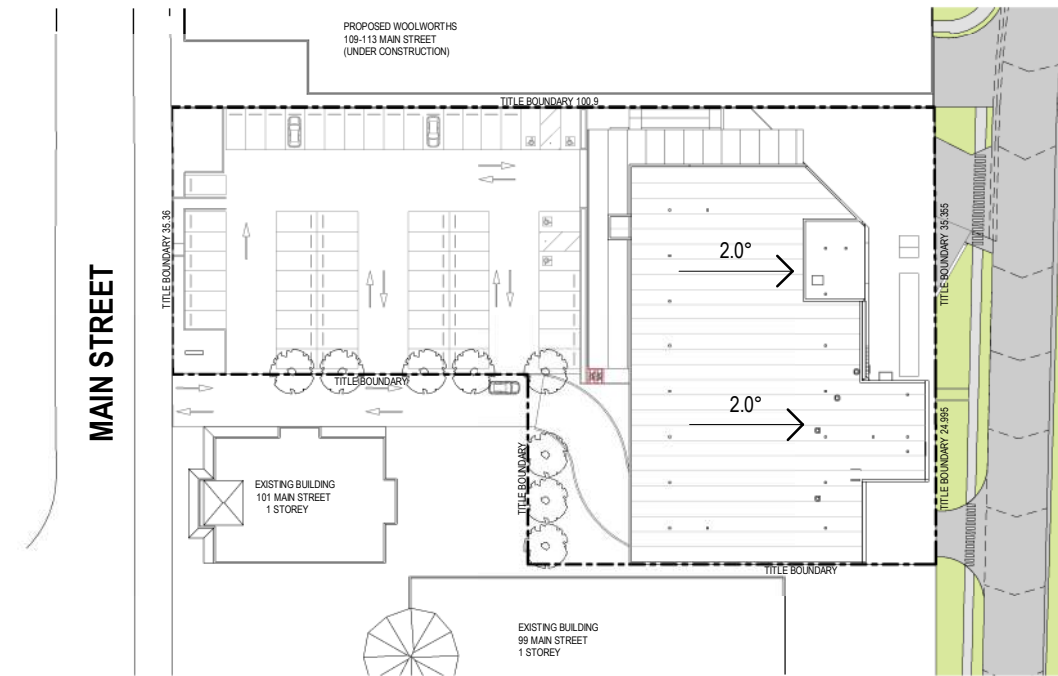
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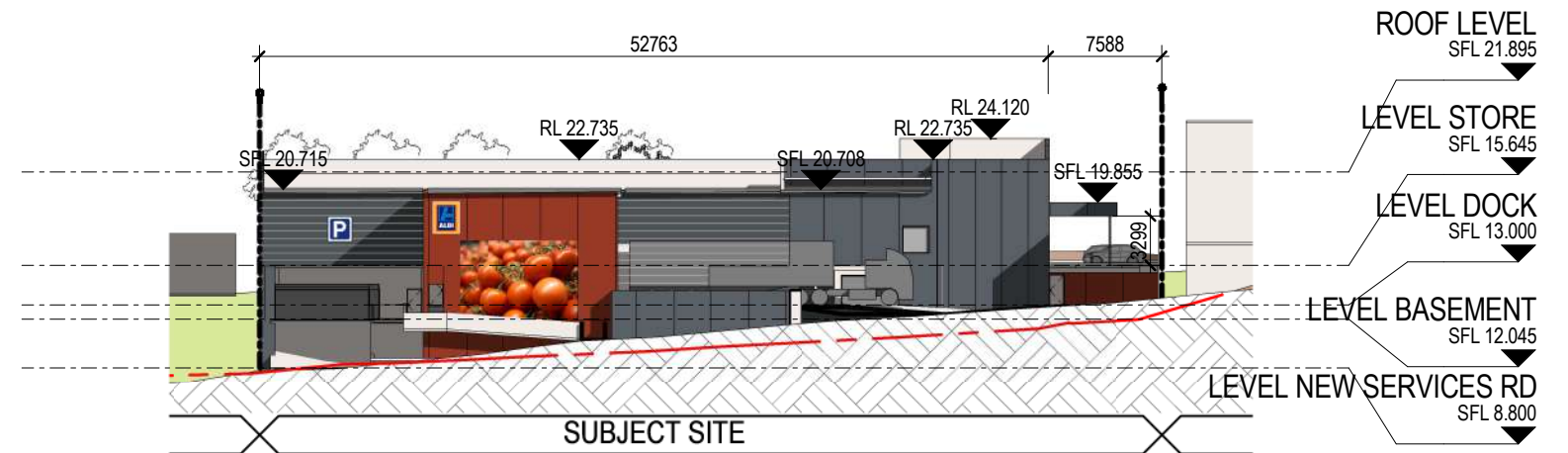
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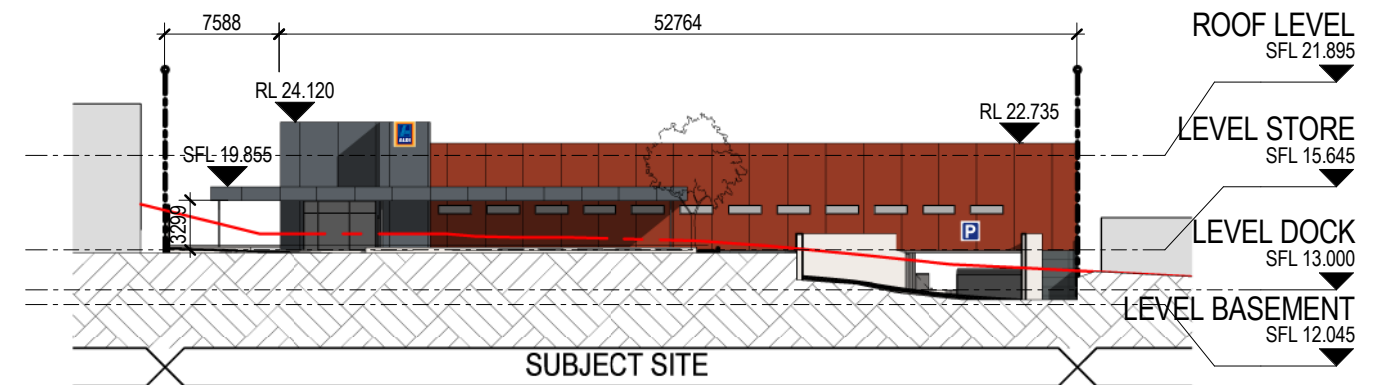




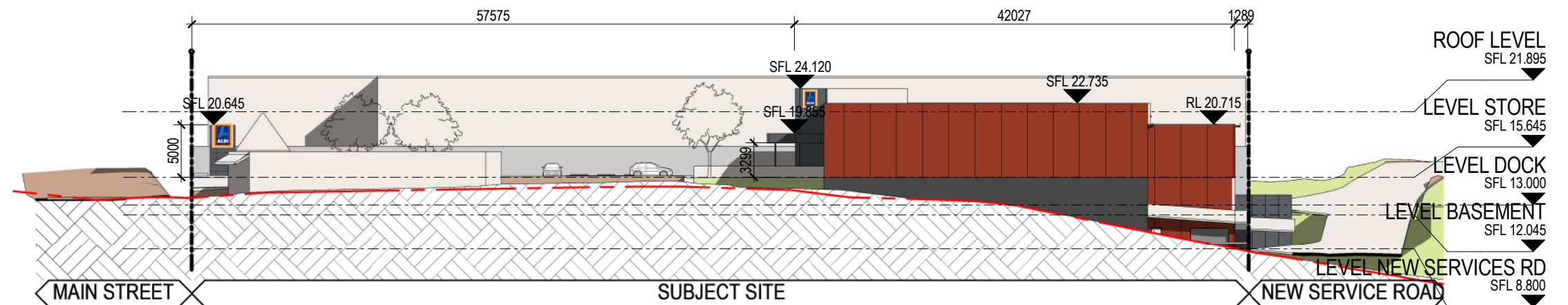
SITE PLAN



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

PRELIMINARY

Revisions			
P1 14.09.17	For Client Review	JM	
P2 18.09.17	Draft D.A.	AK	
P3 25.09.17	Internal review	JM	
P4 26.09.17	Client Review prior D.A. submission	JM	
27.09.17	D.A. Submission	AK	

Project **MERIMBULA ALDI** Drawing **NOTIFICATION PLAN**

103 MAIN STREET,  
MERIMBULA, NSW, 2548

Project No **216142** Date **12.09.2017** Author **JN**

Scale: @ A3 **As indicated** Drawing No. **TP06.01 P4**

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DEVELOPMENT SUMMARY

LEVEL	PARKING	NLA RETAIL	CIRCULATION/ SERVICES
LEVEL NEW SERVICES RD	0.0 m²	0.0 m²	102.0 m²
LEVEL BASEMENT	1318.5 m²	0.0 m²	188.0 m²
LEVEL DOCK	507.1 m²	0.0 m²	538.7 m²
LEVEL STORE	1772.6 m²	1201.2 m²	649.7 m²
	3598.2 m²	1201.2 m²	1478.2 m²

\*For preliminary feasibility purposes. Areas are not to be used for purpose of lease or sale agreements. Layouts may not comply with building regulations or other regulatory requirements. The information contained in this schedule is believed to be correct at the time of printing. Areas are generally measured in accordance with the Property Council of Australia Method of Measurement.

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NOTES AND DEFINITIONS

**GFA**  
(Gross Floor Area) has been calculated as per the definition in the relevant Local Environmental Plan (LEP).

**GEA**  
(Gross Envelope Area) has been calculated as the total enclosed and unenclosed area of the building at all building floor levels measured between the normal outside face of any enclosing walls, balustrades and supports.

**GLA RETAIL**  
(Gross Lettable Area Retail) has been calculated as per the Property Council of Australia *Method of Measurement* Guidelines - Retail / Commercial.

**NSA RESIDENTIAL**  
(Net Saleable Area Residential) has been calculated as per the Property Council of Australia *Method of Measurement* Guidelines - Residential.

**SOLAR ACCESS**  
Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9am and 3pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.

**CROSS VENTILATION**  
At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.

LEVEL	CARPARKS RETAIL	BICYCLE PARKS
LEVEL BASEMENT	38	4
LEVEL STORE	63	4
	101	8

Max. Height
16m
Zone
B2

Revisions	P1	14.09.17	For Client Review	JM
	P2	18.09.17	Draft D.A.	AK
	P3	25.09.17	Internal review	JM
	P4	26.09.17	Client Review prior D.A. submission	JM
		27.09.17	D.A Submission	AK

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Project **MERIMBULA ALDI**

103 MAIN STREET,  
MERIMBULA, NSW, 2548

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Drawing **DEVELOPMENT  
SUMMARY**

Project No. **216142**      Date **18/09/17**

Author **AK**

Scale: @ A1

Drawing No. **TP07.01 P4**

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## Appendices

### APPENDIX C: ARCHITECTURAL TOWN PLANNING SUBMISSION REPORT PREPARED BY ROTHELOWMAN ARCHITECTS



# Architectural Town Planning Submission

103 Main St, Merimbula NSW 2548

September 2017





1.0	Architectural Statement	3
1.01	Project Summary	3
2.0	Urban Context and Site Analysis	4
2.01	Site Context	4
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2.03	Circulation and Accessibility	6
2.04	Existing Site Photographs	7
2.05	Existing Site Controls	8
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4.01	Shadow Analysis	13
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5.01	Materials Palette	14
6.0	Drawings	15
6.01	Drawing List	15

**The Client**  
ALDI Stores  
1 Sargents Street  
Minchinbury, NSW, 2770

**Architecture**  
Rothelowman  
Level 2/ 171 Williams Street  
Darlinghurst, NSW, 2010

**Land Owner**  
Bega Council  
PO Box 492  
Bega, NSW, 2550

**Town Planning**  
Milestone  
93 Norton Street  
Leichhardt, NSW, 2040

**Landscape Architect**  
Site Image  
3 Baptist Street  
Redfern, NSW, 2016

**Quantity Surveyor**  
Donald Cant Watts Corke  
Level 10, Angel Place, 123 Pitt Street  
Sydney, NSW, 2000

**Structural / Civil Consultant**  
Henry & Hymas  
Level 5, 79 Victoria Ave  
Chatswood, NSW, 2067

**Electrical / Communications Consultant**  
Korkis Engineering  
Unit 1/78 Ferndell Street  
Chester Hill, NSW, 2162

**Hydraulic Consultant**  
Michael Frost & Associates  
11-15 Florence Street  
Hornsby, NSW, 2077

**DDA Consultant**  
ABE Consulting  
Suite 2.02 92 Norton Street  
Leichhardt, NSW, 2040

**Traffic Engineer (Report)**  
Christopher Hallam & Associates  
164 Old Bells Line of Road  
Kurrajong, NSW, 2758

**Traffic Engineer (Swepth Paths)**  
Parking & Traffic Consultants  
Suite 102, 506 Miller Street  
Camberay, NSW, 2062

**Economics Consultant**  
Deep End Services  
Suite 304, 9-11 Claremont Street  
South Yarra, VIC, 3141

**Acoustic Engineer**  
Wilkinson Murray  
4/272 Pacific Highway  
Crows Nest, NSW, 2065

**BCA Consultant**  
Philip Chun  
404/44 Hampden Lane  
Artarmon, NSW, 2064

**Geo Technical Investigator**  
Aitken Rowe  
4/2 Riedell Street  
Wagga Wagga, NSW, 2650

**Project Contact**  
Ben Pomroy  
Principal  
T +61 2 8045 2600  
M +61 410 614 408  
BenP@rothelowman.com.au



### Project Details

Five aisle ALDI Store  
Basement Carparking: 38 cars  
Outdoor Carparking: 63 Cars  
Loading Dock at the rear  
Store: 1201.34m<sup>2</sup>  
NLA: 1223.4m<sup>2</sup>  
GFA: 1286.5m<sup>2</sup>  
Site Area: 4917.23m<sup>2</sup>

### The Site

Merimbula is a town on the Merimbula Lake within the local Government region of Bega Council. 103 Main Street is the subject site..

### The Opportunity

ALDI are looking to deliver a cost competitive alternative to other retail supermarket options in the Merimbula Area.

### The Proposed Development

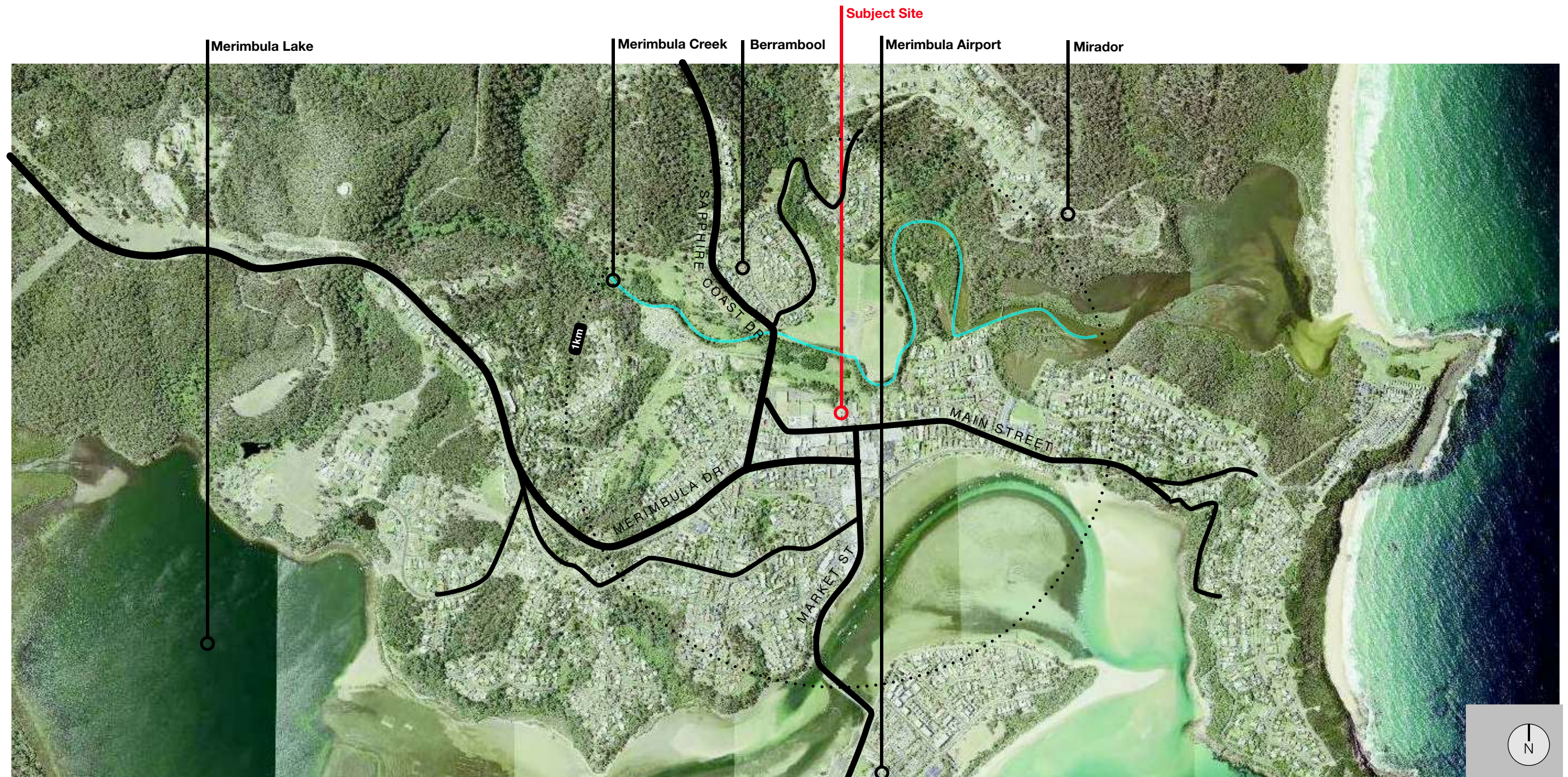
The development consists of 4 parts:

- 1 - A landscaped carpark at Main Street
- 2 - A single floor store
- 3 - Loading dock at the rear
- 4 - Basement carpark

These four parts are connected by a right of way that links to a ramp which allows access to the basement carpark and New Service Road. The Right of Way will be landscaped so that it will have a "lane feel" The building will adopt Aldi's standard finishes, which will be adjusted in scale to suit the areas surrounding.









Adjacent to the west of the site is Club Sapphire and it's associated carpark. To the east and south are restaurants, retail stores and health centres, as well as Top Fun, a family entertainment attraction. Vegetation surrounds the north boundary. The site is on a high pedestrian traffic route and features a bus stop out the front.





Legend	
<div></div>	Subject Site
<div></div>	Major Road
<div></div>	Freeway
<div></div>	Minor Road
<div></div>	Bus Stop
<div></div>	Proposed Road to Delivery Dock
<div></div>	Pedestrian Crossing
<div></div>	Vehicle Cross Link

Public Transport Linkages - Bus Routes



Major Road Linkages



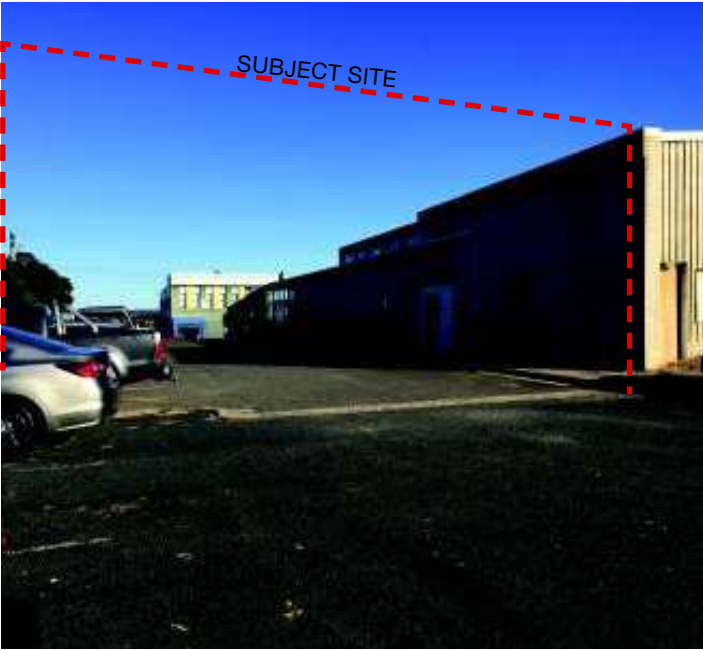




View 1. View from rear of site



View 2. View from site to Main St



View 3. View to rear of site - proposed road location



View 4 — Front of site on Main Street



View 5 — View from Main St



View 6 —View from Main St





Controls:

- Bega Valley Local Environmental Plan
- Development Control Plan (DCP) 2013  
Merimbula Town Centre

Merimbula Town Centre Precinct



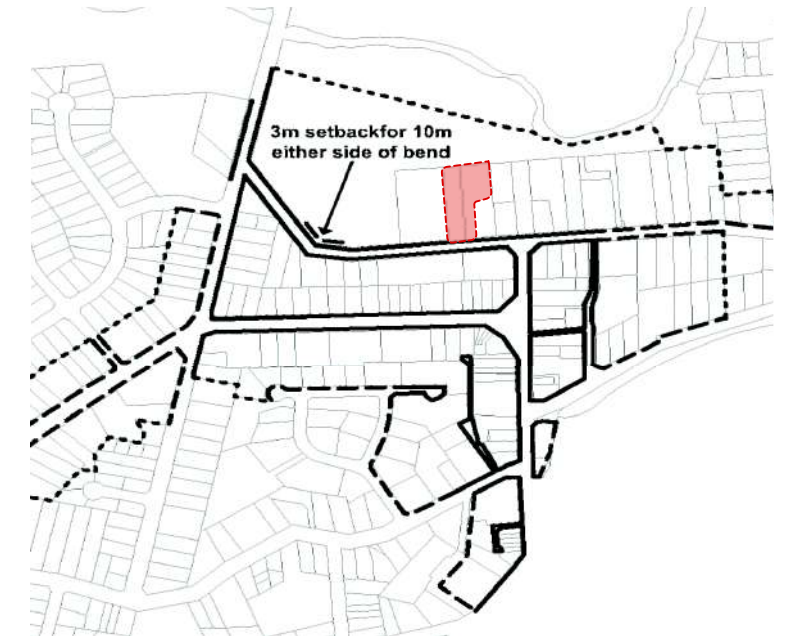
Precinct 6: Main Street

Height Limit



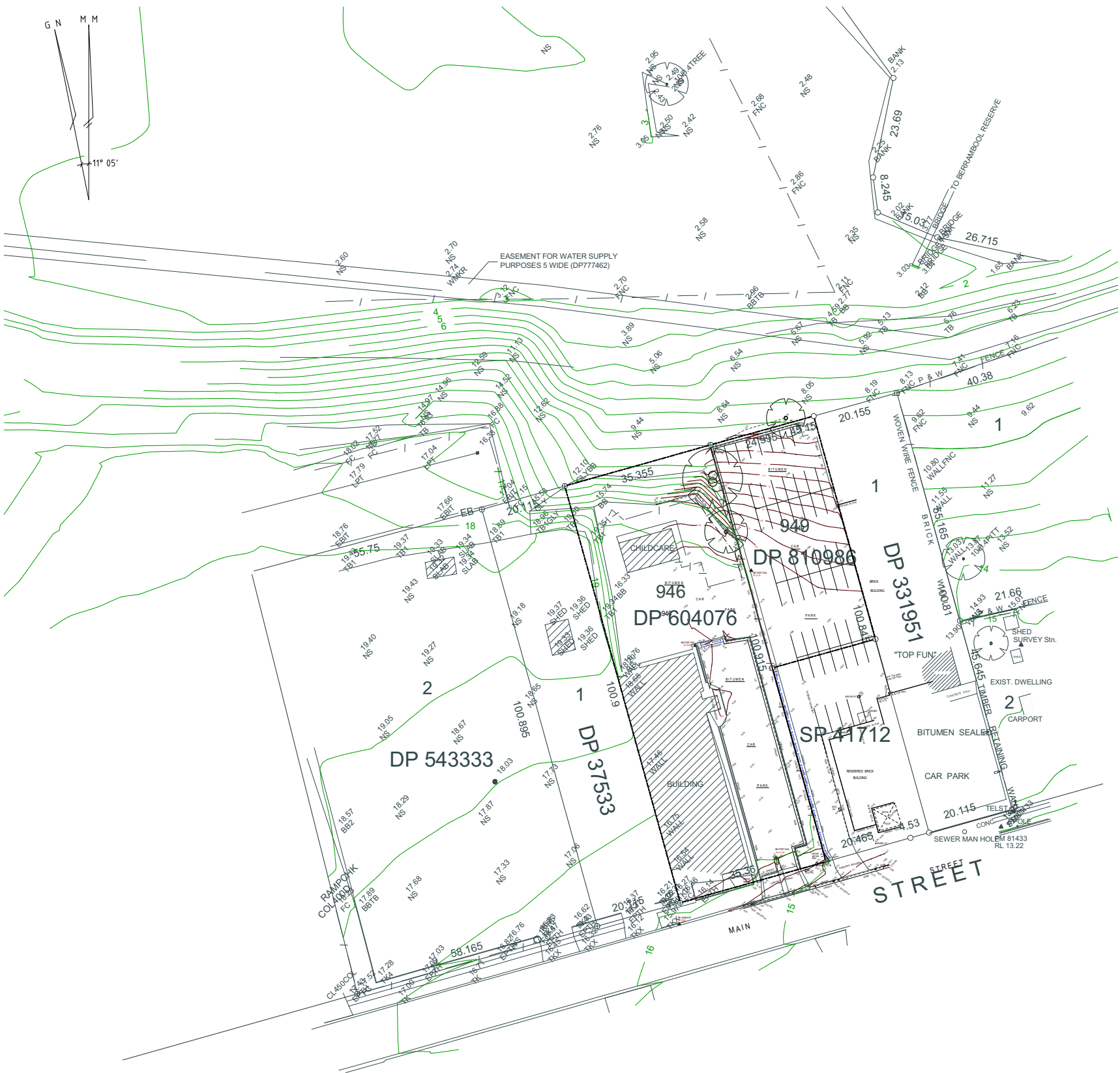
16m (4 Storey) Height Limit

Setbacks



Main Street Setback: 0m Front Setback  
Rear Setback: Minimum 3m









Disclaimer: Perspective images are presented as an artist's impression of the development.  
Landscaping shown on perspective images is indicative only and is subject to Landscape Architect's design.





Disclaimer: Perspective images are presented as an artist's impression of the development.  
Landscaping shown on perspective images is indicative only and is subject to Landscape Architect's design.

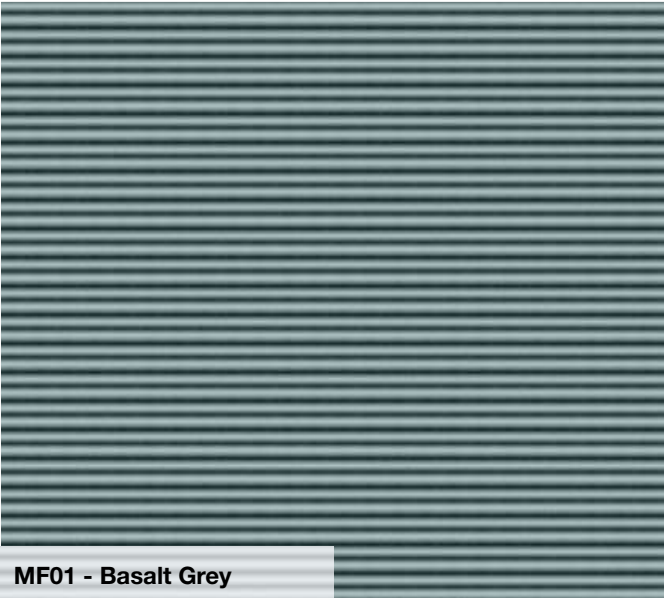


The following palette is representative of the proposed core materials. The graphic representation is indicative only.

Painted Concrete



Powder Coated Aluminium





Site Plan	TP 00.01
Existing Conditions	TP 00.02
Demolition Plan	TP 00.03
Level New Services Rd Plan	TP 01.01
Level Basement Plan	TP 01.02
Level Dock Plan	TP 01.03
Level Store Plan	TP 01.04
Roof Plan	TP 01.04
Elevations	TP 02.01
Elevations	TP 02.02
Sections	TP 03.01
Shadow Plan	TP 04.01
GFA / NLA Plan	TP 04.02
Signage Plan	TP 04.03
Notification Plan	TP 06.01
Development Summary	TP 07.01



## Appendices

### APPENDIX D: LANDSCAPE PLAN PREPARED BY SITE IMAGE LANDSCAPE ARCHITECTS



# ALDI Merimbula

## 103 Main St, Merimbula, NSW 2548

SUPERSEDED

### DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	COVER SHEET	
101	LANDSCAPE PLAN	1:150
501	LANDSCAPE DETAILS	AS SHOWN

PLANT SCHEDULE							
Symbol	Botanical Name	Common Name	Height Metres	Width	Pot Size	Spacing	Quantity
<b>Trees</b>							
TI	<i>Tristaniopsis laurina</i>	Water Gum	8	5	100L	As Shown	13
<b>Shrubs and Accents</b>							
Pc	<i>Phormium cookianum</i>	Mountain Flax	1	1	300mm	As Shown	66
PgR	<i>Photinia glabra</i> 'Rubens'	Photinia Rubens	3	2	300mm	As Shown	71
<b>Groundcovers</b>							
DB	<i>Dianella caerulea</i> 'Breeze'	Dianella Breeze	0.6	0.6	150mm	5/m2	662
Gt	<i>Gazania tomentosa</i>	Silver Leaf Gazania	0.2	0.5	150mm	5/m2	365

NOT FOR CONSTRUCTION

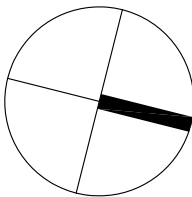
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B	Architectural Coordination	JW	NM	26.09.2017
A	For Comment	JW	NM	28.08.2017
Issue	Revision Description	Drawn	Check	Date

#### LEGEND

Key Plan:



S I T E I M A G E

Landscape Architects  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
**ALDI STORES**

Project:  
**ALDI Merimbula**  
**103 Main St**  
**Merimbula NSW 2548**

Drawing Name:  
**Cover Sheet**

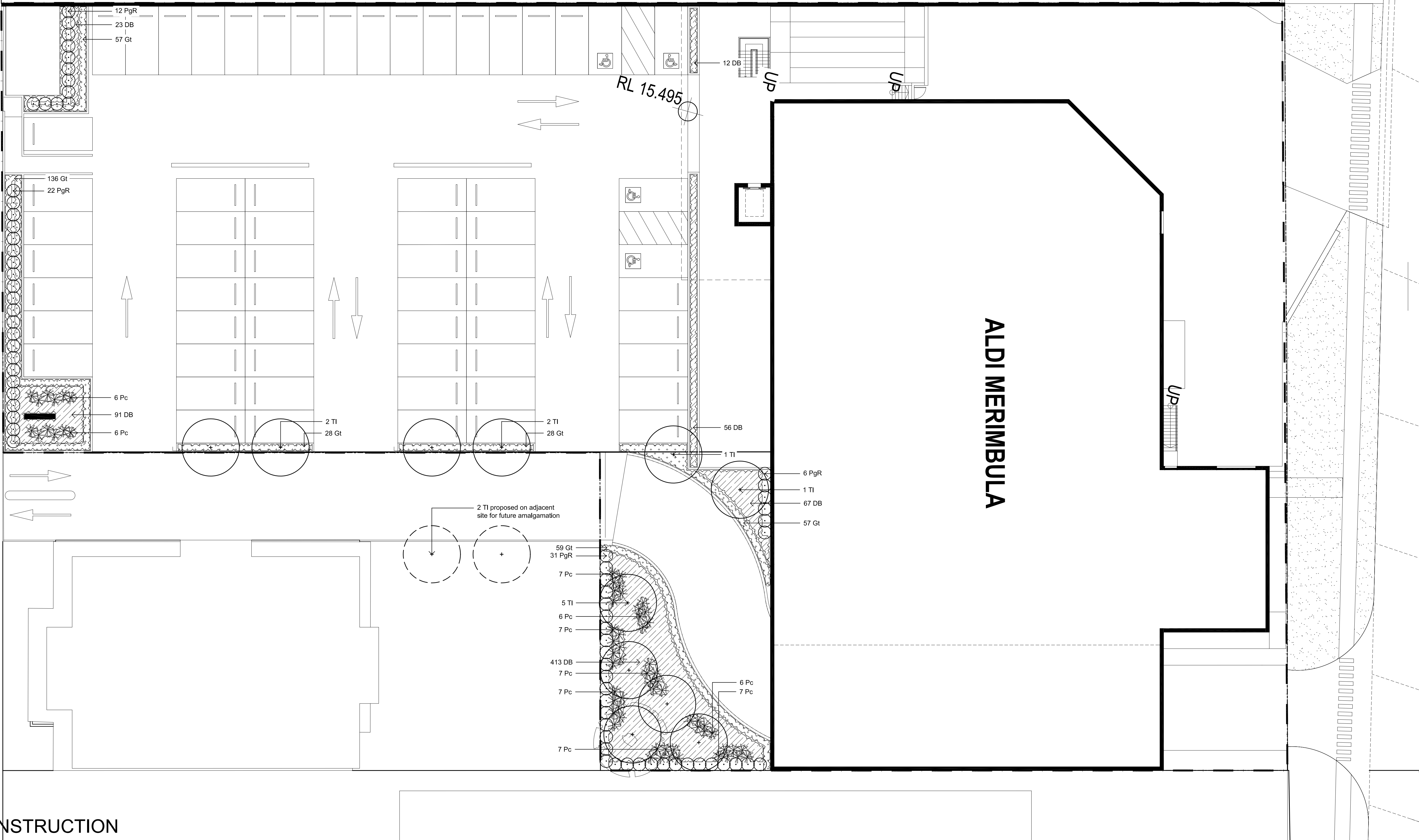
**PRELIMINARY**

Scale:  
Job Number: **SS17-3622**

Drawing Number:  
Issue: **000 B**



SUPERSEDED



NOT FOR CONSTRUCTION

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B Architectural Coordination  
A For Comment  
Issue Revision Description

JW NM 26.09.2017  
JW NM 28.08.2017  
Drawn Check Date

LEGEND

Site Boundary

Proposed Tree

Proposed Shrubs and Accents

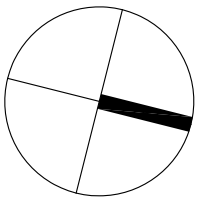
Proposed Grasses and Groundcovers

Mulch

Edging

Turf

Key Plan:



SITE IMAGE



Landscape Architects  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
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Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client:  
ALDI STORES

Project:  
ALDI Merimbula  
103 Main St  
Merimbula NSW 2548

Drawing Name:  
Landscape Plan

Scale: 1:150 @ A1  
Job Number:  
SS17-3622

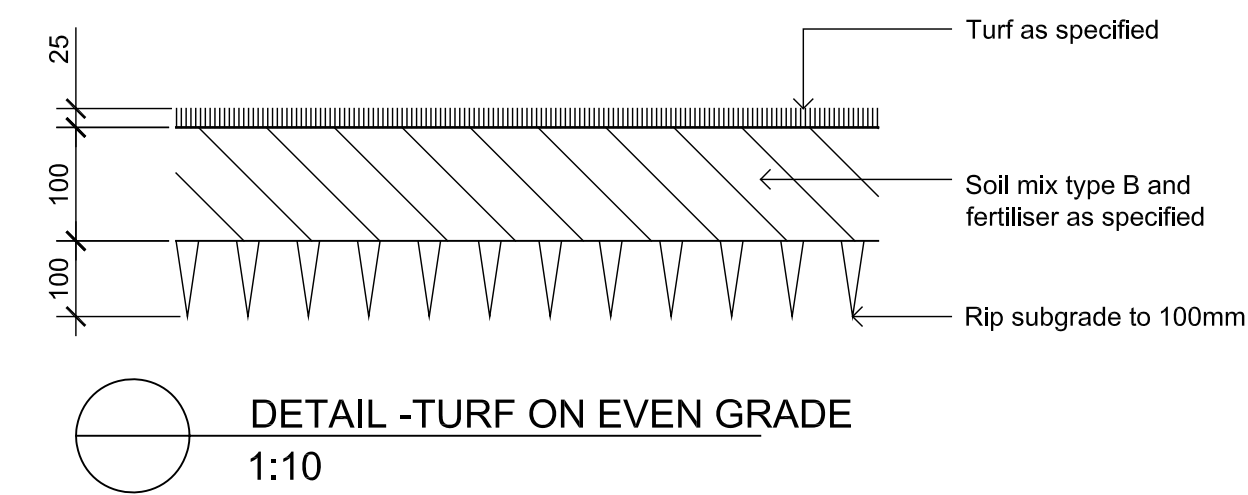
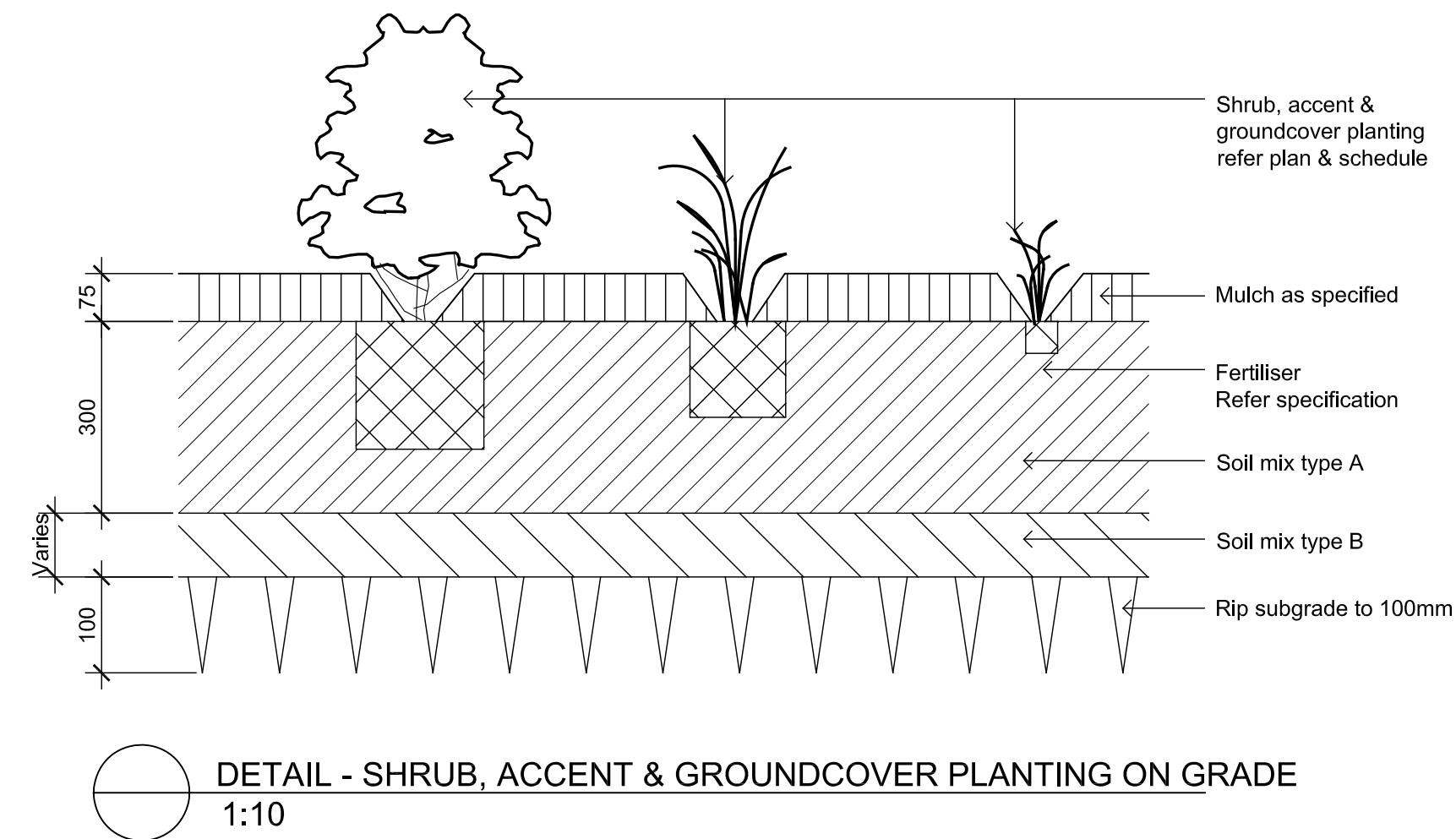
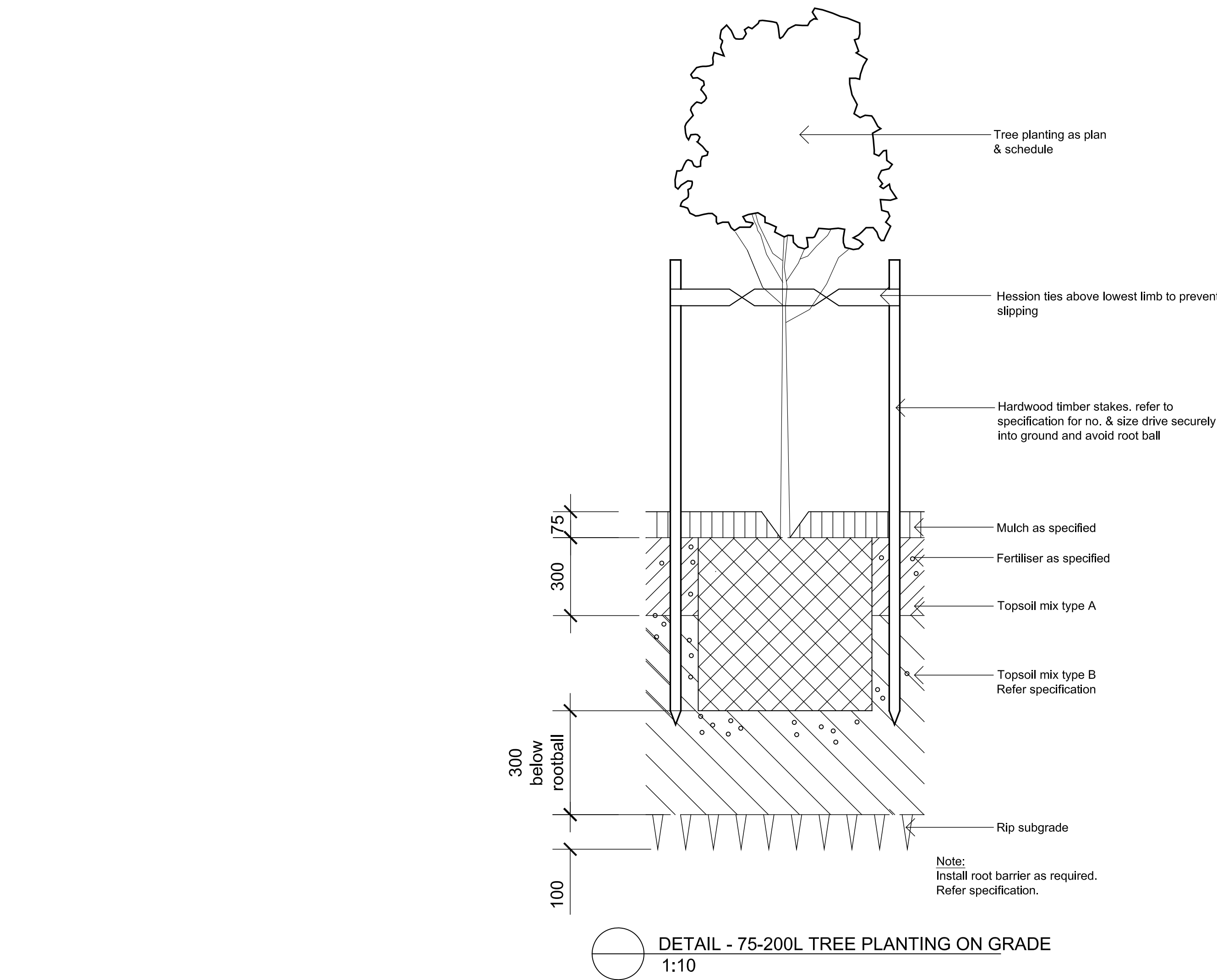
PRELIMINARY

0 1 2 3 4 5m  
Drawing Number:

Issue:

101 B





NOT FOR CONSTRUCTION

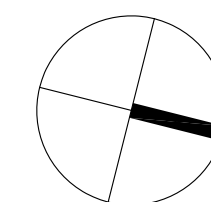
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B	Architectural Coordination	JW	NM	26.09.2017
A	For Comment	JW	NM	28.08.2017
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:



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Client:  
**ALDI STORES**  
Project:  
**ALDI Merimbula**  
**103 Main St**  
**Merimbula NSW 2548**

Drawing Name:  
**Landscape Details**

**PRELIMINARY**  
Scale:  
Job Number: **SS17-3622**  
Drawing Number:  
Issue: **501 B**



## Appendices

APPENDIX E: STATE ENVIRONMENTAL PLANNING POLICY NO 64 ASSESSMENT PREPARED BY  
MILESTONE (AUST) PTY LIMITED



**ASSESSMENT OF PROPOSED SIGNAGE PURSUANT TO STATE ENVIRONMENTAL PLANNING POLICY NO. 64 – ADVERTISING AND SIGNAGE (SEPP 64)**

**Associated Earthworks and Construction and Fitout of Proposed Building Comprising an ALDI Store with Associated Business Identification Signage, Landscaping and Car Parking  
103, 105-107 Main Street, Merimbula NSW 2548**

No	Provisions of SEPP 64	Compliance
1	<p><b>Character of the area</b></p> <ul style="list-style-type: none"> <li>Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?</li> </ul>	<p><b>Complies</b></p> <p>A total of five (5) business identification signs are proposed on the site:</p> <ul style="list-style-type: none"> <li>ALDI Pylon Sign: one (1) double-sided pylon business sign is proposed to be located to the west of the existing Right of Way along the Main Street frontage.</li> </ul> <p>The pylon has a maximum height of 5 metres. The pylon sign is internally illuminated measuring 2,400mm (h) x 2,000mm (w). The pylon sign also includes one smaller signs carrying characters of car park and arrow, mounted beneath the ALDI logo, measuring 350 mm (h) x 2,000 mm (w) showing the car park entry.</p> <ul style="list-style-type: none"> <li>ALDI Wall-Mounted Signs: four (4) internally illuminated wall-mounted business identification signs located on the south, west, north, and east elevations of the proposed ALDI Store. The wall-mounted business identification signage has dimensions of 2,400mm (h) x 2,000mm (w).</li> </ul> <p>The proposed signs are compatible with the building façade form and commercial use. The proposed signs are required to identify the ALDI Store and basement car park entries, and direct customers to the premises.</p> <p>The proposed signage complies with SEPP 64 in this regard as it is:</p> <ul style="list-style-type: none"> <li>Commensurate to the commercial function of the site;</li> <li>Of a suitable size, neat, and well presented; and</li> <li>Does not result in any adverse impacts to adjoining properties.</li> </ul>
	<ul style="list-style-type: none"> <li>Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?</li> </ul>	<p><b>Complies</b></p> <p>The proposed signage is considered acceptable given the context of the site within a designated local centre within the Bega Valley Shire Council.</p>



No	Provisions of SEPP 64	Compliance
2	<b>Special areas</b> <ul style="list-style-type: none"> <li>Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?</li> </ul>	<b>Complies</b> <p>Merimbula Creek and bushland is located to the north of the site. One (1) wall-mounted business identification sign is proposed on the north elevation facing Merimbula Creek and bushland. The proposed signs will not adversely impact on the amenity of the bushland and Merimbula Creek.</p> <p>A heritage item is located at 85 Main Street to the east (Old School Museum, Item I057 in Schedule 5 of LEP 2013). The proposed business identification signs will not adversely impact the heritage significance of the heritage item by virtue of the modest scale, and integrity with the host building.</p>
3	<b>Views and Vistas</b> <ul style="list-style-type: none"> <li>Does the proposal obscure or compromise important views?</li> </ul>	<b>Complies</b> <p>The proposed signage will not obscure or compromise any important views.</p>
	<ul style="list-style-type: none"> <li>Does the proposal dominate the skyline and reduce the quality of vistas?</li> </ul>	<b>Complies</b> <p>The proposed signage will not dominate the skyline or reduce the quality of any vistas.</p>
	<ul style="list-style-type: none"> <li>Does the proposal respect the viewing rights of other advertisers?</li> </ul>	<b>Complies</b> <p>The proposed signage will not unreasonably obstruct any views to other advertisements in the area.</p>
4	<b>Streetscape setting or landscape</b> <ul style="list-style-type: none"> <li>Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?</li> </ul>	<b>Complies</b> <p>The scale, proportion and form of the proposed signage is suitable for the host building.</p>
	<ul style="list-style-type: none"> <li>Does the proposal contribute to the visual interest of the streetscape, setting or landscape?</li> </ul>	<b>Complies</b> <p>The proposed signs identify the ALDI Store and basement car park entry points. The proposed signs are designed in a coordinated way to ensure the signage is fully integrated with the building façades.</p> <p>The proposed signs utilise high quality finishes, are professionally designed and will contribute to the overall visual interest of the ALDI Store.</p>
	<ul style="list-style-type: none"> <li>Does the proposal reduce clutter by rationalising and simplifying existing advertising?</li> </ul>	<b>Complies</b> <p>The proposal will utilise one (1) pylon sign structure to support the new business identification signs. The proposed wall-mounted signs are professionally designed to be fully integrated with the new façade structures.</p> <p>The proposal includes a well considered strategy for orderly designed signage zones and will not give rise to visual clutter.</p>
	<ul style="list-style-type: none"> <li>Does the proposal screen unsightliness?</li> </ul>	<b>Complies</b> <p>The proposed signage is neat and well presented and will improve the visual presentation of the building.</p>



No	Provisions of SEPP 64	Compliance
	<ul style="list-style-type: none"> <li>Does the proposal protrude above buildings, structures or tree canopies in the area or locality?</li> </ul>	<b>Complies</b>  The proposed signage does not protrude above any nearby built or natural forms.
5	<b>Site and building</b> <ul style="list-style-type: none"> <li>Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?</li> <li>Does the proposal respect important features of the site or building, or both?</li> <li>Does the proposal show innovation and imagination in its relationship to the site or building, or both?</li> </ul>	<b>Complies</b>  The proposed signage is well resolved, is of a consistent scale and proportion to the host building and will have a contemporary presentation that is suitable for the local centre context of the site.  <b>Complies</b>  The proposed signage is suitably integrated within the proposed façade and signage structures. There are further proposed signs located on the north and south elevations which provide an overall signage strategy for the site. The proposed signs do not detract from the visual appearance of the building.  <b>Complies.</b>  The proposed signs are modest in scale and are fully integrated with the proposed building elevations which reduce any additional visual bulk.
6	<b>Associated devices and logos with advertisements and advertising structures</b> <ul style="list-style-type: none"> <li>Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage structure on which it is to be displayed?</li> </ul>	<b>Complies</b>  The proposed signs will be internally illuminated with lights specifically designed to illuminate the proposed signs.  Access to the signs for installation and maintenance purposes can be achieved via the building lifts and maintenance stairs. No new safety devices or platforms are required.
7	<b>Illumination</b> <ul style="list-style-type: none"> <li>Would illumination result in unacceptable glare?</li> <li>Would illumination affect safety for pedestrians, vehicles or aircraft?</li> <li>Would illumination detract from the amenity of any residence or other form of accommodation?</li> <li>Can the intensity of the illumination be adjusted if necessary?</li> <li>Is the illumination subject to a curfew?</li> </ul>	<b>Complies</b>  The proposed signs will be internally illuminated. Refer to the Architectural Plans held at <b>Appendix B</b> for details.  <b>Complies</b>  The signs are entirely located within the site boundary and are located along the building façades, Main Street and the proposed service road frontages and will not adversely impact the safety of pedestrians or vehicles.  <b>Complies</b>  All proposed signs are internally illuminated without dazzle or glare.  <b>Complies</b>  The lighting can be adjusted by technicians if required.  <b>Complies</b>  The timing for the illumination of the proposed signs will be controlled by an automated timing device. The illumination of the signs will be automatically switched off after the ALDI Store closes, 7 days per week.

No	Provisions of SEPP 64	Compliance
8	<b>Safety</b>	<b>Complies</b>
	<ul style="list-style-type: none"> <li>• Would the proposal reduce the safety of any public road?</li> </ul>	The proposed signage will not reduce the safety of any public road.
	<ul style="list-style-type: none"> <li>• Would the proposal reduce the safety for pedestrians or bicyclists?</li> </ul>	<b>Complies</b>  The proposed signage will not reduce the safety for pedestrians or cyclists.
	<ul style="list-style-type: none"> <li>• Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?</li> </ul>	<b>Complies</b>  The proposed signs will not reduce pedestrian safety or impact sightlines from public areas.



## Appendices

### APPENDIX F: WASTE MANAGEMENT PLAN PREPARED BY MILESTONE (AUST) PTY LIMITED

## WASTE MANAGEMENT PLAN

### ASSOCIATED EARTHWORKS AND CONSTRUCTION AND FITOUT OF PROPOSED BUILDING COMPRISING AN ALDI STORE WITH ASSOCIATED BUSINESS IDENTIFICATION SIGNAGE, LANDSCAPING AND CAR PARKING

103 & 105-107 MAIN STREET, MERIMBULA

LOT 949 DP 810986

LOT 946 DP 604076

OCTOBER 2017

<b>Outline of proposal</b>	<b>Associated Earthworks and Construction and Fitout of Proposed Building Comprising an Aldi Store with Associated Business Identification Signage, Landscaping and Car Parking</b>
<b>Site Address</b>	103 & 105-107 Main Street, Merimbula Lot 949 DP 810986; and Lot 946 DP 604076
<b>Site Operator</b>	ALDI Stores (A Limited Partnership)
<b>Applicant</b>	Milestone (AUST) Pty Limited
<b>Telephone</b>	(02) 9518-3666
<b>Fax</b>	(02) 9518-3933
<b>Buildings and other structures currently on site</b>	Existing former Merimbula Library building, child care centre and associated at-grade car parking.

## DEMOLITION PHASE

The demolition work comprises the demolition of the former Merimbula Library building, child care centre, as well as removal of asphalt from the existing at grade outdoor car park and four (4) trees. Quantities of demolition waste are detailed in the attached table on page 3. The excavated natural sand and weathered rock material can be used as structural fill provided the moisture is conditioned accordingly.

## CONSTRUCTION PHASE

An estimate of the construction waste is provided in the tables below. The Building Contractor will be responsible for the management of construction waste and further detail in this regard can be provided by the contractor prior to the issue of a Construction Certificate. Quantities of construction waste are detailed in the attached table on page 3.

## OPERATION OF THE ALDI STORE

ALDI Stores aim to minimise waste and promote reduction in the use of non-recyclable materials. ALDI Stores are designed to provide space for waste storage and recycling. This is achieved in line with the Federal and NSW Governments waste reduction targets and the Waste Avoidance and Resource Recovery Act 2001.

ALDI products are assembled onto pallets in the ALDI Stores Warehouse and Distribution Centre in Prestons, Sydney. The pallets are delivered to the ALDI Store and used for the display of goods. This process limits waste



generation and limits the requirement for stocking shelves. The pallets themselves are returned to Prestons in the empty delivery vehicle for re-use.

The waste produced at the site will be primarily packaging and other grocery, office and shop materials. Waste will be stored on site until removal. All plastic waste, including plastic tapes and wrapping from the packaging of goods delivered to the ALDI Store, will be collected on a regular basis by an independent contractor (to be determined).

A waste compactor will be located within the loading dock area of the building. It will be used for boxes used to package items sold within the ALDI Store. The compactor is accessible by vehicle from the delivery vehicle ingress/egress point from the proposed service road and from within the ALDI back of house area. It will be emptied on a regular basis as required by an independent commercial contractor.

ALDI Stores do not include kitchens, delicatessens, bakeries or the like where fresh food is handled or prepared for sale on the premises. The majority of goods are pre-packaged at the ALDI Stores warehouse and distribution centre in Prestons. Putrescible waste generated by the proposed development is generally limited to staff waste. This waste will be discarded within the bins located within the bin store area adjacent to the ALDI loading dock. These bins are emptied by a contractor on a regular basis.

Waste collections will occur two to three times per week by an independent contractor (to be determined) and waste will be taken to a local Waste Management Centre (to be determined). Additionally, the proposed ALDI Store development incorporates the following measures during operation to reduce general waste output:

- Refusal to offer free plastic bags to encourage the use of reusable shopping bags.
- Installation of coin deposit system for trolleys to reduce theft and illegal dumping.
- Use of recyclable plastic crates of certain goods from suppliers to reduce packaging

A breakdown of waste management procedures for the ALDI Store are provided below.

### **Food Waste Reduction**

ALDI has agreements with Foodbank, Oz Harvest and Second Bite hunger relief charities to support the disadvantaged and people living in at-risk communities. The supply of food to these charities helps reduce waste within the ALDI Store at Merimbula.

### **ALDI's Australian Packaging Covenant Action Plan 2010-15**

ALDI has introduced the Australian Packaging Covenant Action Plan 2010-2015. This includes the development of Environmental Packaging Guidelines for the packaging used for our exclusively branded products. These guidelines meet the requirements of the Environmental Code of Practice for Packaging.

### **Plastic Waste**

All plastic packaging waste including plastic tape and protective wrapping from the packaging of goods delivered to the ALDI store is collected in store and returned via ALDI delivery vehicle to the ALDI Prestons Warehouse for compaction and recycling.

### **Cardboard**

The waste compactor within the loading dock area will compact and store cardboard and paper. It is anticipated the compactor will need to be emptied approximately 2-3 times per week.

### **Rubbish/Putrescible Waste**

What other garbage and putrescible waste is generated by the store must be disposed of into the 1.5 cubic metre bin. This waste bin is to be generally emptied 3 times per week.

When not in use the waste bin is to be stored in the designated bin store area located adjacent to the loading dock. The bin store will be kept locked when not in use.

Broken or damaged waste bins will be replaced by contacting the nominated trade waste contractor.

## Cleaning

Regular cleaning of the bin and bin store will be an ongoing part of the store operation.

## Note

No trade waste discharge is required for the ALDI Store since no food preparation takes place.

### Details of Waste Management – Section One - Demolition Phase

MATERIALS ON-SITE		DESTINATION		
		REUSE AND RECYCLING		DISPOSAL
Type of materials	Est.Vol. (m³)	ON-SITE - specify proposed reuse or on-site recycling methods	OFF-SITE - specify contractor and recycling outlet	- specify contractor and landfill site
Excavated Materials	TBC	Potential on-site reuse.	TBC by on-site contractor	TBC by on-site contractor
Garden Organics	TBC	Potential on site reuse.	TBC by on-site contractor	TBC by on-site contractor
Bricks	TBC	N/A	TBC by on-site contractor	TBC by on-site contractor
Tiles	TBC	Potential on-site reuse.	TBC by on-site contractor	TBC by on-site contractor
Concrete	TBC	Potential on-site reuse.	TBC by on-site contractor	TBC by on-site contractor
Timber – please specify	TBC	TBC	TBC by on-site contractor	TBC by on-site contractor
Plasterboard	TBC	N/A	TBC by on-site contractor	TBC by on-site contractor
Metals	TBC	N/A	TBC by on-site contractor	TBC by on-site contractor
Glass	TBC	N/A	TBC by on-site contractor	TBC by on-site contractor
Other waste e.g. ceramic tiles, paints, PVC tubing, cardboard, fittings	TBC	N/A	TBC by on-site contractor	If hazardous, to be disposed at appropriate facility

### Details of Waste Management – Section Two - Construction Phase

MATERIALS ON-SITE		DESTINATION		
		REUSE AND RECYCLING		DISPOSAL
Type of materials	Est.Vol. (m³)	ON-SITE - specify proposed reuse or on-site recycling methods	OFF-SITE - specify contractor and recycling outlet	- specify contractor and landfill site
Excavated Materials	Nil	N/A	N/A	N/A
Garden Organics	Nil	N/A	N/A	N/A
Bricks	TBC	N/A	N/A	TBC by on-site contractor
Tiles	TBC	N/A	N/A	TBC by on-site contractor
Concrete	TBC	N/A	N/A	TBC by on-site contractor
Timber – please specify	Nil	N/A	N/A	TBC by on-site contractor
Plasterboard	TBC	N/A	N/A	TBC by on-site contractor
Glass	TBC	N/A	N/A	TBC by on-site contractor
Metals	TBC	N/A	N/A	TBC by on-site contractor
Other waste eg. ceramic tiles, paints, PVC tubing, cardboard, fittings	Nil	N/A	N/A	N/A



# Sustainable Design Principles

Development Application - Aldi Merimbula

216242 Main St Merimbula – NSW

Project no. **216242**

Status **D.A. Lodgement**

Rev **-**

Date **27/09/2017**

## Aldi Merimbula

This Document is to address the Ecologically Sustainable Development (ESD) Local Government Act (1993) as well as the Environment Protection and Biodiversity Conservation Act (1999) requirements.

Ecologically Sustainable Development require the building been design with Sustainable Design Principles that will be followed by a Sustainable Management Plan.

The Sustainable Design principle is listed on Table 5.1 of the Bega Valley Development plan and the items that we are addressing below are the ones concerned to the architectural aspects of the building

Energy -Electrical	ensure solar passive design including subdivision and layout of building/s on the property
	ensure the efficient use of energy
	reduce energy peak demand
	encourage renewable energy generation
	reduce total operating greenhouse gas emissions
	encourage building materials with low embodied energy
Water resources -Hydraulics	protect and enhance natural waterways and bodies
	encourage the collection and reuse of stormwater

	ensure the efficient use of water
	reduce total operating potable water use
	encourage the appropriate use of alternative water sources (e.g. greywater)
Ecology -Landscape	protect and enhance biodiversity
	protect and enhance existing natural landscapes, heritage, amenity (including visual) and neighbourhood character
	provide ecologically sustainable landscapes and natural habitats
	protect and manage all remnant indigenous plant communities
	encourage the planting of indigenous vegetation
	encourage productive gardens
	reduce the impact of stormwater run-off



<b>Stormwater Management</b> <b>-Civil</b>	improve the water quality of stormwater run-off
	achieve best practice stormwater quality outcomes
	incorporate the use of water sensitive urban design, including stormwater re-use
<b>Transport</b> <b>-Architectural</b> <b>-Landscape</b> <b>-Planning</b>	<p>ensure that the built environment is designed to promote the use of walking, cycling and public transport in that order</p> <p>- The building was set on site in a way that allows the free flow of pedestrians and cyclists through it. Disables accessible ramps were located at the rear of the site, from the new services road footpath, located on the western side of the building beside the carpark and at between the Main St footpath and the outdoor carpark. These set of ramps allow the pedestrians easy access from the Main St footpath to the Oval on the northern site of the site. Regarding public transport, there is a bus stop at the footpath in front of the development which will make easier for commuters to access the site.</p>
	<p>ensure accessibility for all ages and capabilities</p> <p>-As described above</p>
	<p>minimise car dependency</p> <p>-There is bus stop at the footpath. Regarding the impact of cars on the surrounding, this development is providing the community of a carpark, within the site boundary that would, otherwise, be at the street creating conflict of traffic and affecting the amenities of footpath.</p>
	<p>promote the use of low emissions vehicle technologies and supporting infrastructure</p> <p>-The site provides bike racks within the site</p>
<b>Waste management</b> <b>-Planning</b>	ensure waste avoidance, reuse and recycling during the design, construction and operation stages of the development
	consider the durability and long term reusability of building materials
	design the built environment to adapt to future needs in a waste-efficient manner
<b>Indoor Environment Quality</b> <b>-Architectural</b> <b>-Building Services</b>	<p>achieve a healthy indoor environment quality for the wellbeing of building occupants, including the provision of fresh air intake, cross ventilation, natural daylight, external views and appropriate levels of lighting</p> <p>-Mostly achievable at Designed Development stages with coordination of consultant's design to architectural set</p>
	<p>achieve thermal comfort levels with minimised need for mechanical heating, ventilation and cooling</p> <p>-Mostly achievable at Designed Development stages with coordination of consultant's design to architectural set</p>
	reduce indoor air pollutants by use of materials with low toxic chemicals, minimal offgassing and production of allergens
	<p>reduce reliance on mechanical heating, ventilation, cooling and lighting systems</p> <p>-Mostly achievable at Designed Development stages with coordination of consultant's design to architectural set</p>
	use flexible internal controls for any mechanical systems
	minimise noise levels and noise transfer within and between buildings and associated external areas
<b>Innovation and Area</b>	encourage innovative technology, design and processes in all development, which positively influence the sustainability of buildings and the surrounding area

-All parts	-Mostly achievable at Designed Development stages with coordination of consultant's design to architectural set
	<p>integrate effectively buildings with accessibility, landscaping, open spaces, community facilities, natural areas, public and active transport and safety</p> <p>-Mostly achievable at Designed Development stages with coordination of consultant's design to architectural set</p>

Table 5.1: Sustainable design principles from Bega Valley Development Control Plan



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123 Pitt Street  
Sydney NSW 2000

Job File No: 5924

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**DONALD  
CANT  
WATTS  
CORKE**

## **ALDI MERIMBULA**

### **COST PLAN**

**JUNE 2017**

# PROPOSED RETAIL DEVELOPMENT ALDI MERIMBULA

## Initial Cost Plan ver.2

**22 June 2017**

**Richard Cohen**  
**Director**

Heymann-Cohen (Part of Donald Cant Watts Corke Group) Pty Ltd  
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Sydney NSW 2000

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# 1.EXECUTIVE SUMMARY

This cost plan looks at the estimated total construction cost based on the drawings and associated information provided by the Architects Rothelowman, with respect to the proposed ALDI retail development at 103 Main Street, Merimbula.

The estimated total construction cost is **\$ 6,927,570** as described in the report.

# 2.PROJECT DESCRIPTION

The proposed project is the construction of the ALDI retail development located at 103 Main Street, Merimbula. The site has an area of approximately 4,900m2 and is currently occupied with a two storey retail development including adjacent on-grade parking.

The general scope of the works includes the items as listed below.

- One level of undercroft car parking comprising 38 car parking bays
- On grade parking comprising 65 parking bays
- A 1590 m2 ALDI supermarket on Ground Level
- Loading dock

# 3.COST PLAN SUMMARY

This cost plan evaluates the estimated total construction cost based on the drawings and associated information provided by the Architect with respect to the proposed ALDI retail development at 103 Main Street, Merimbula.

The estimated total construction cost is **\$ 6,927,570** as described in the report summarized as follows:

Description	Amount
Construction Costs	\$ 4,382,314
Sundries	\$1,222,142
Direct ALDI works	\$366,300
Preliminaries and Margin	\$956,814
<b>TOTAL CONSTRUCTION COST EXCLUDING FEES, CONTINGENCIES AND GST</b>	<b>\$ 6,927,570</b>



## 4. BASIS OF THE COST PLAN

The estimate is based on areas and approximate quantities measured from the drawings and associated information provided by the Architect. The rates that have been applied are based on material, plant and labour costs that are current at the report date.

The rates are based on the works being part of a continuous project work stream, with no allowance for staging, and are undertaken in an optimal and reasonable timeframe with minimal requirement for out-of-hours or undue overtime work. The rates are further based on a project tendered on a competitive basis, within a reasonable timeframe and with a good level of documentation.

## 5. ITEMS INCLUDED AND EXCLUDED

### **Items Specifically Included**

The following items are specifically included in the cost plan:

- Demolition of the existing buildings on the site
- Undercroft carpark construction
- Loading dock
- Ground level retail
- On-grade car park
- Roadworks outside the site boundary

### **Items Specifically Excluded**

The following items are specifically excluded from the cost plan:

- Loose furniture and fittings
- Out of hours work
- Removal of any material not classified as VENM
- Any works to heritage building (Current subject property not heritage listed)
- Relocations
- Escalation to completion (cost plan is based on June 2016 construction rates)
- Council S94 contributions and Long Service Levy (Allowance by Town Planner)
- Design development contingency
- GST

## 6. PROJECT RISKS

This document describes and details the cost plan for the proposed development of a mixed use building at 103 Main Street, Merimbula and is based on the level of information available at the time as well the documents that have been produced and made available by the architect.

The risks that attach to the works and consequently to the cost estimate include the following key items:

- Extent, if any, of hazardous materials in the existing building
- Extent, if any, of contaminated soil on site
- Rock under the site
- Latent conditions in relation to existing services locations
- Retention structure requirements to the undercroft carpark i.e. proximity to the water table
- Transfer structure required due the layout of the retail area and or residential areas
- Delays to the project
- Procurement strategy differs from assumption in the cost plan
- Changes in the construction market conditions
- Client directed changes to brief, scope or documents

## 7. CONTINGENCIES

No allowance has been made for contingencies

## 8. ESCALATION

No cost escalation is included in the rates used in the cost plan.

## 9. DOCUMENTS

The following drawings and documents were used in compiling the cost plan:

- Architectural Drawings: TP00.01 P2, TP00.02 P2, TP02.01 P2, TP01.01 P2, TP01.01 P2, TP03.01 P2, TP04.01 P2, TP05.01 P2) prepared by Rothelowman Architects



## 10. GENERAL

We trust that this cost plan meets with your requirements. Should there be any queries or if you require any additional information please feel free to call or email.

Yours faithfully,

**Heymann-Cohen (Part of Donald Cant Watts Corke Group Pty Ltd)**



**Richard Cohen**

**Director**

*richard.cohen@dcwc.com.au*

## 11.COST ESTIMATE



ALDI Stores (A Limited Partnership)  
Proposed Retail Development  
ALDI Merimbula  
29th June 2017

SUMMARY OF CONSTRUCTION COSTS					
ESTIMATED CONSTRUCTION COST	AREA	UNIT	RATE		TOTAL COST
<b>Ground Level</b>					
Construction of high standard double storey new ALDI retail building and staff areas including Fitout	1,093	m2	\$	1,583 /m2	\$ 1,729,673
Construction of BOH areas to ALDI	497	m2	\$	1,583 /m2	\$ 786,374
Construction of car park, (Asphalt)	1,831	m2	\$	175 /m2	\$ 320,441
Construction loading dock area and truck turning zone (Concrete)	524	m2	\$	210 /m2	\$ 109,971
Construction of forecourt area and trolley bays, etc.	219	m2	\$	514 /m2	\$ 112,566
Access ramp incl balustrading and retaining structure	135	m2	\$	900 /m2	\$ 121,500
Construction of driveway ramp (Concrete)	165	m2	\$	245 /m2	\$ 40,425
Pedestrian Link	29	m2	\$	175 /m2	\$ 5,075
<b>Lower Ground</b>					
Construction of undercroft parking	1,460	m2	\$	750 /m2	\$ 1,094,750
Plant Room	35	m2	\$	180 /m2	\$ 6,300
Staircase core	1	Item	\$	44,440	\$ 44,440
Lift core	1	Item	\$	10,800	\$ 10,800
<b>SUB TOTAL (1)</b>	<b>5,989</b>	<b>m2</b>			<b>\$ 4,382,314</b>
<b><u>Sundries</u></b>					
Demolition of existing building structures	1	Item			\$ 177,150
Demolition of existing carpark tarmacadam to perimeter of the site	1	Item			\$ 70,000
Bulk earthworks - cut & fill (import fill - retail)	139	m3	\$	75	\$ 10,402
Bulk earthworks - excavations service road cut to fill	391	m3	\$	75	\$ 29,325
Retaining walls and civil earthworks (battered earth banks)	1	Item	\$	75,000	\$ 75,000
Construction of Service Road 2 (Concrete)	709	m2	\$	245	\$ 173,705
Allowance for a passenger lift	1	Item	\$	150,000	\$ 150,000
Allowance for a goods lift	1	Item	\$	200,000	\$ 200,000
Substation to service ALDI	1	Item	\$	180,000	\$ 180,000
Onsite stormwater detention tank (assumed)	1	Item	\$	75,000	\$ 75,000
Relocation of other services including new connections and the like	1	Item	\$	50,000	\$ 50,000
Allowance for soft landscaping	263	m2	\$	120	\$ 31,560
<b><u>ALDI DIRECT WORKS NOT INCLUDED IN M2 RATES</u></b>					
<b><u>Supply only (Group 2)</u></b>					
Light fittings (4 aisle store)	1	Item	\$	100,000.00	\$ 100,000
Vinyl Flooring (Kardean International)	1	Item	\$	18,500.00	\$ 18,500
Ceiling tiles (USG Boral Buildings)	1	Item	\$	40,000.00	\$ 40,000
<b><u>Supply and Install (Group 3)</u></b>					
Joinery (VBP)	1	Item	\$	146,000.00	\$ 146,000
Signage (Signmanager)	1	Item	\$	56,000.00	\$ 56,000
Metalwork and Fitments	1	Item	\$	5,800.00	\$ 5,800
<b>SUB TOTAL (2)</b>					<b>\$ 1,588,442</b>
<b>TOTAL EXCLUDING PRELIMINARIES AND MARGIN</b>					<b>\$ 5,970,756</b>
<b>ADD: Preliminaries (10.5%)</b>					<b>\$ 626,929</b>
<b>ADD: Builders Margin (5%)</b>					<b>\$ 329,884</b>
<b>TOTAL INCLUDING BUILDERS PRELIMINARIES, MARGIN AND OVERHEADS BUT EXCLUDING FEES, CONTINGENCIES AND GST</b>					<b>\$ 6,927,570</b>

## 12.MARKUP DRAWINGS



# CostX Drawing

Dimension Group Legend.

Area Schedule Est 170621: ALDI BOH 170621: 487 m<sup>2</sup>

Area Schedule Est 170621: ALDI Store 170621: 1,093 m<sup>2</sup>

Area Schedule Est 170621: Car Park: 1,831 m<sup>2</sup>

Area Schedule Est 170621: Construction of driveway: 156 m<sup>2</sup>

Area Schedule Est 170621: Loading dock area: 524 m<sup>2</sup>

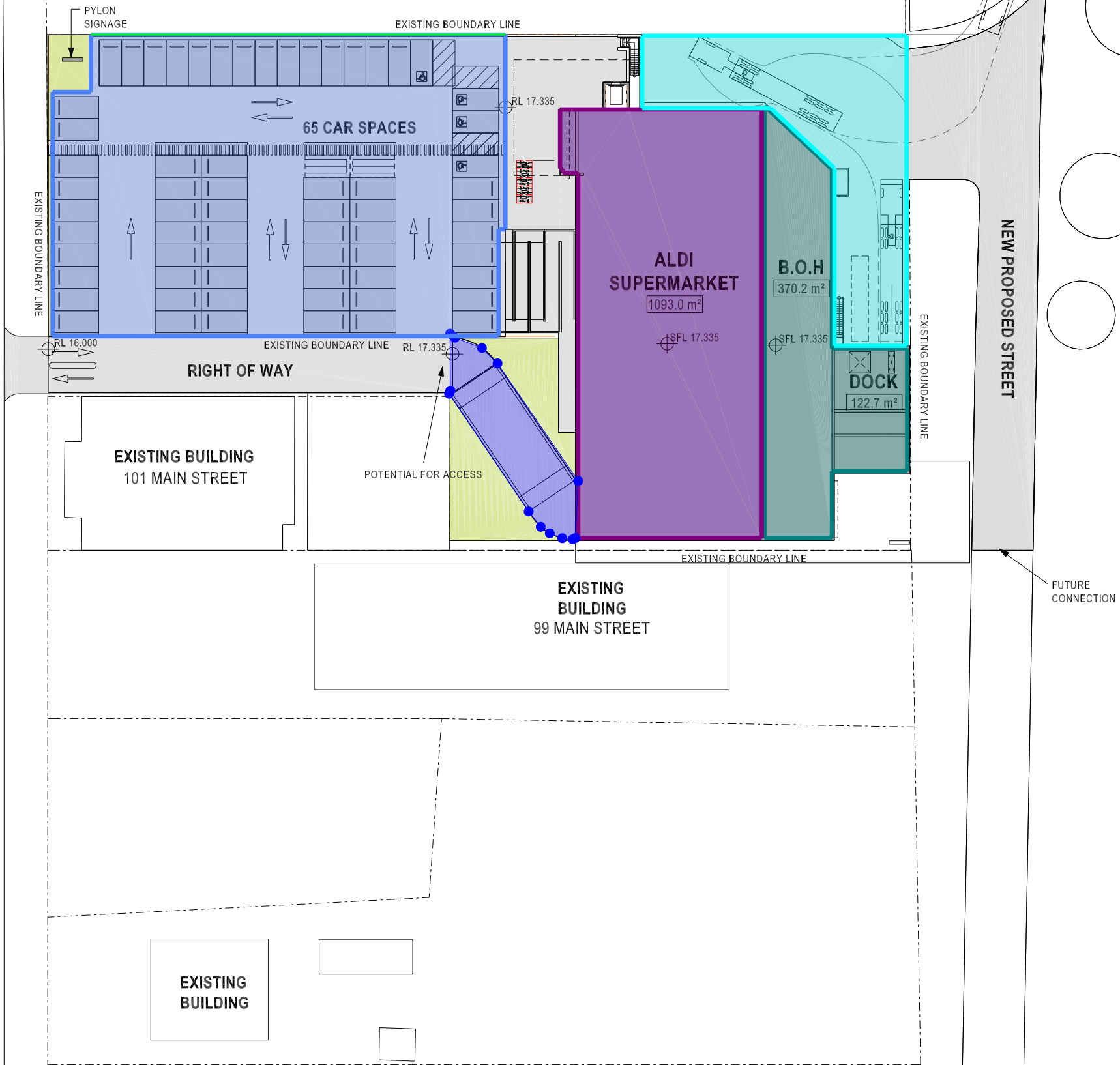
Project: ALDI Merimbula

Building: ALDI Merimbula

Drawing: Est 170621\20170609 combined

Filename: H:\HeyCo\Projects15\5924 ALDI Merimbula\Est 1706

MAIN STREET

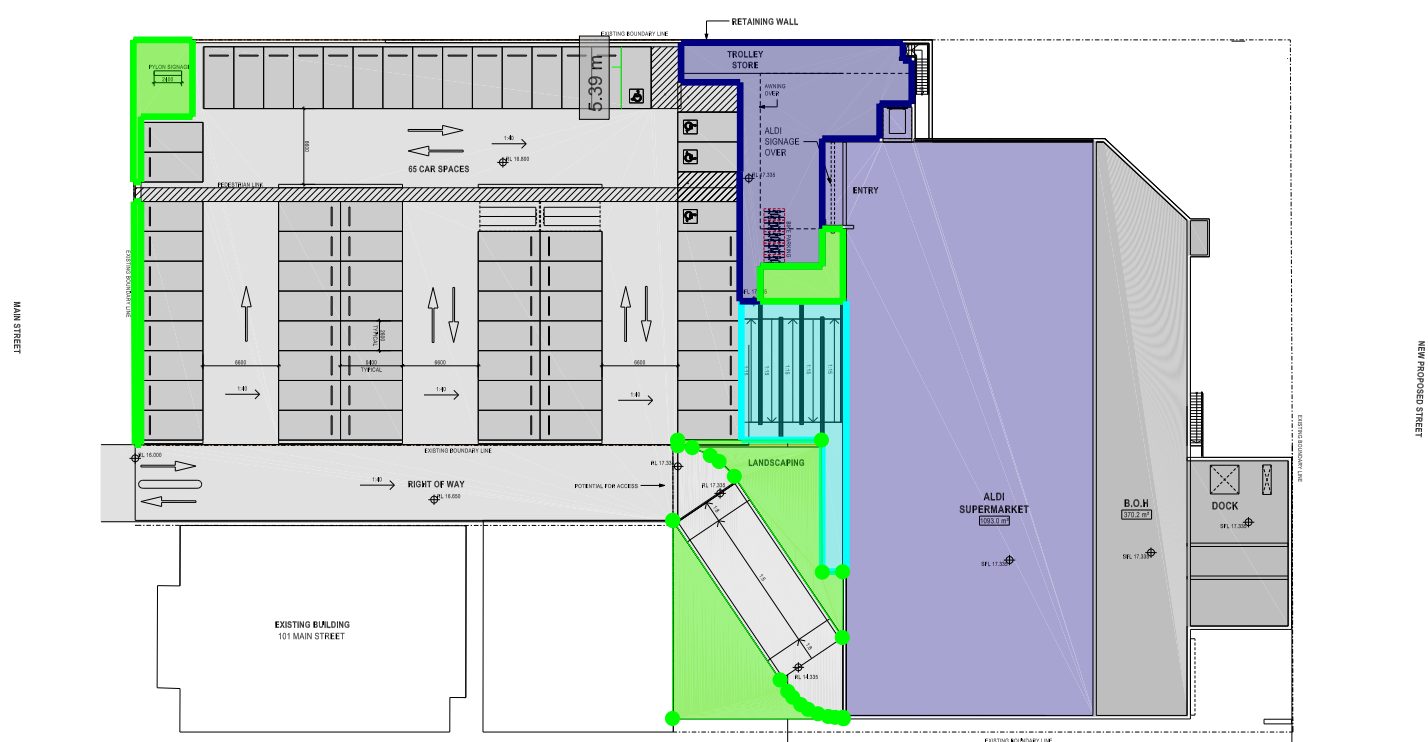


## CostX Drawing

**Dimension Group Legend.**    **Project:** ALDI Merimbula  
Area Schedule Est 170621: Access ramp incl balustrading: 135 m2  
Area Schedule Est 170621: ALDI Forecourt 170621: 219 m2    **Building:** ALDI Merimbula  
Area Schedule Est 170621: Landscaping: 263 m2

Drawing: Est 170621\GL

Filename: H:\HeyCo\Projects15\5924 ALDI Merimbula\Est 1706



CAR SPACES	
LOWER GROUND	38
GROUND	65

Revisions	P1	16.05.17	Preliminary
	P2	09.05.17	Electoral Levels

9/26/2017 9:57:18 AM

AC

Project / **MERIMBULA RETAIL**Drawing / **GROUND PLAN**

Project No. / 216142

Date / 01/05/17

Author / JC

Scale: A1 / 1:200

Drawing No. / **TP01.01 P2**

rothelowman

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## Accessibility Review Report – DA Review

**Project Title:** Proposed Retail Development  
103 Main St, Merimbula

**Job Number:** 7179

**Date:** 26 September 2017

**Prepared For:** Rothelowman

**Report Version:** ADR-DA\_7179\_v1.1

ACCESSIBILITY • ESSENTIAL FIRE SAFETY SERVICES

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Report Status	Revision	Date	Details
Draft	1.0	12 September 2017	For Review and Comment
Final	1.1	26 September 2017	For DA Documentation



# ACCESSIBILITY DESIGN REVIEW

**Project:** Proposed Retail Development

**Location:** 103 Main St, Merimbula

## 1.0 INTRODUCTION

This report provides an Accessibility Design Review of the pre DA architectural design documentation of a proposed retail building development at 103 Main St, Merimbula.

### 1.1 Project Information & Classification

The proposed development consists of the construction of a new retail building (Aldi) with associated on-grade and Basement Level car parks located at 103 Main St, Merimbula.

It is understood the following Building Code of Australia 2016 building classification(s) apply to the subject tenancy (to be confirmed by the BCA Consultant / PCA) –

Building Part	Building Classification	Use
Basement Level	Class 6	Retail Carpark & Loading Dock
Ground Floor	Class 6	On-Grade Carpark & Retail

### 1.2 Purpose of the Report

Rothelowman engaged the services of ABE Consulting as Accessibility Consultants for this project to undertake an assessment of the proposed design documentation in relation to the accessibility related requirements as identified in Part 1.3 of this report to provide design advice during the Development Application Stage.

### 1.3 Report Scope

This report provides an Accessibility Design Review of the relevant project architectural documentation in the context of the following –

- Part D3, Clause E3.6 and Clause F2.4 'deemed-to-satisfy' (DtS) requirements of the Building Code of Australia 2016 (BCA)
- The Disability (Access to Premises - Buildings) Standards 2010;

This Accessibility Design Review is based on –

- Architectural design documentation prepared by Rothelowman, Project No.216142 as follows:

Dwg#	Title	Date – Issue
TP00.01	Site Layout	23.08.2017 - P7
TP01.01	Level New Services RD Plan	25.09.2017 - P6
TP01.02	Level Basement Plan	25.09.2017 - P10
TP01.03	Level Dock Plan	25.09.2017 - P6
TP01.04	Level Store Plan	25.09.2017 - P10

- The Building Code of Australia 2016 (BCA) prepared by the Australian Building Codes Board.
- The Guide to the BCA 2016, prepared by the Australian Building Codes Board.
- The Disability (Access to Premises – Building) Standards 2010.

- Australian Standards AS1428.1-2009 - Design for Access and Mobility - Part 1: General requirements for access - New building work.

## 1.4 Limitations of the Report

The Disability Discrimination Act (DDA - 1992) is a Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional, equitable and independent accessibility. The DDA is a complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equity and independence of movement by people with disabilities, their companions, family and carer givers.

A key component of compliance to the DDA is the use of the Disability (Access to Premises - Buildings) Standards 2010, Part D3, Clause F2.4 and Clause E3.6 of the Building Code of Australia 2016 (BCA) and the relevant referenced standards primarily being Australian Standards Suite AS1428 and Australian Standards AS2890.6 – Off-street parking for people with disabilities. The AS 1428 series details technical requirements related to design for access and mobility.

The Building Code of Australia has adopted key accessibility and DDA legislation into the 2011 BCA. In particular adherence to the Access to Premises Standard (2010); AS1428.1 2009; AS1428.4.1 2009 and AS2890.6 2009 has become mandatory. However, compliance with these elements does not necessarily result in compliance with the Disability Discrimination Act if the elements of equality, independence and functionality remain compromised within an environment.

This report does not include or assess the following –

- The provisions of the BCA not directly referenced in Part 1.3 of this report;
- Standards not directly referenced in this report; including AS4299-1995 (Adaptable Housing) unless otherwise explicitly specified in Part 1.3 of this report;
- Disability Discrimination Act 1992 (as explored earlier);
- Federal / State / Local planning policies and/or guidelines unless otherwise explicitly specified in Part 1.3 of this report;
- Work Health & Safety considerations or Work Cover Authority requirements;
- This report does not provide any performance based assessments (Performance Solutions) of the BCA;
- This report does not provide any exemptions from the requirements of the BCA.
- This report is not a Part 4A compliance certificate under the Environmental Planning & Assessment Act 1979 or Regulation 2000;
- Review or specification of slip-resistance classification(s) for floor surface finishes / materials. We recommend surface finish advice be sought from an independent specialist slip safety consultant.

## 1.5 The Disability (Access to Premises – Building) Standards 2010

The Disability (Access to Premises - Buildings) Standards 2010 provides the prescriptive requirements set out regarding the upgrade of an existing building where works are being undertaken.

The Premises Standards apply to:

- a new building
- a new part of an existing building
- the *affected part* of an existing building.

The new parts of a building and any subsequent affected part are outlined as per the below extracts of The Disability (Access to Premises - Buildings) Standards 2010 –

### **New Part:**

A part of a building is a **New Part** of the building if it is an extension to the building or a modified part of the building about which:

- *An application for approval for the building work is submitted, on or after 1 May 2011, to the competent authority in the state or territory where the building is located; or*
- *All of the following apply:*
  - i. *The building work is carried out for or on behalf of the Crown;*
  - ii. *The building work commences on or after 1 May 2011;*
  - iii. *No application for approval for the building work is submitted, before 1 May 2011, to the competent authority in the state or Territory where the building is located.*

### **Affected Part:**

- *the principal pedestrian entrance of an existing building that contains a new part and*
- *any part of an existing building that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.*

Furthermore, Part 4 of the The Disability (Access to Premises - Buildings) Standards 2010 sets out applicable exceptions and concessions. In this instance the following lessee concession is provided –

### **Lessees:**

If the lessee of a *new part* of a building submits an application for approval for the building work, the following people do not have to ensure that the *affected part* of the building complies with these Standards:

- The building Certifier;
- The building developer;
- The building manager.

**It is understood that the proposed development is all new works. New works are required to comply with the current accessibility provisions of the BCA.**



## 2.0 ACCESSIBILITY DESIGN REVIEW

The following tables provide an assessment of the architectural design documentation in relation to the DtS provisions of the BCA / Premises Standards in the context as outlined in Part 1 of this report.

The tables identify each of the relevant assessment outcomes into six (6) main categories, as follows –

**Capable of Complying (CoC) –** Spatial allowance has been made to accommodate compliance where the specification provided has been satisfied.

**Compliance Departure (CD) –** A compliance departure with the DtS provisions of the BCA.

**Design Detail (DD) –** A detail commentary/specification is offered within the report.

**Performance Solution (PS) –** A Performance Solution Report is being pursued to justify the compliance departures

**Not Applicable (N/A) –** Not applicable or not relevant to the project. Commentary provided.

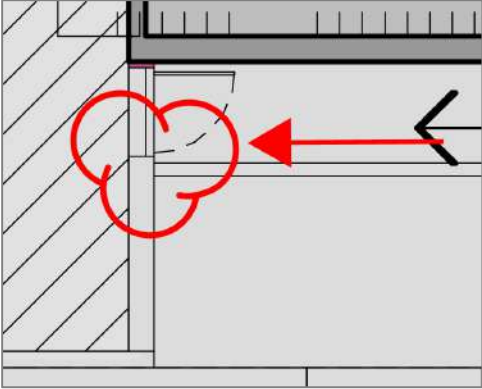
**Informational (Info) –** Provided for informational purposes

**Interpretation Note(s) –**

- Readily moveable furniture has been treated as indicative only unless otherwise noted within the report as it is not considered to form part of the building as addressed by the BCA.

## BCA Part D3 – ACCESS FOR PEOPLE WITH DISABILITIES

### Cl. D3.1: General building access requirements

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>Buildings and parts of the building must be accessible as required by Table D3.1, unless exempted by D3.4. Table D3.1 requires that access is provided –</p> <p><b><u>Class 6 -</u></b></p> <ul style="list-style-type: none"> <li>To and within all areas normally used by the occupants.</li> </ul>	<p><b>1. <u>Doorways:</u></b></p> <p>All doorways along an accessway are required to have a clear door opening width no less than 850mm clear and be provided with door circulation spaces as prescribed by AS1428.1-2009.</p> <p><b><u>Compliance Departure</u></b></p> <p>Plans indicate doorway to Basement carpark provided with the required 530mm latch-side clearance externally.</p>  <p><b><u>Resolution</u></b></p> <p>Ensure the required front on approach latch-side clearance and circulation space is provided in accordance with Clause 13 of AS1428.1-2009. Drawings indicate sufficient area for design to be amended at the detailed design stage.</p> <p><b><u>Design Detail</u></b></p> <p>The Back of House office areas on the Ground Floor can readily achieve compliance with minor design development at detailed design stage.</p> <p><b>2. <u>Access between areas:</u></b></p> <p>Access is required to and within all areas normally used by the occupants.</p> <p>Plans indicate compliance is readily achievable. Further review required at detailed design stage.</p>	CoC

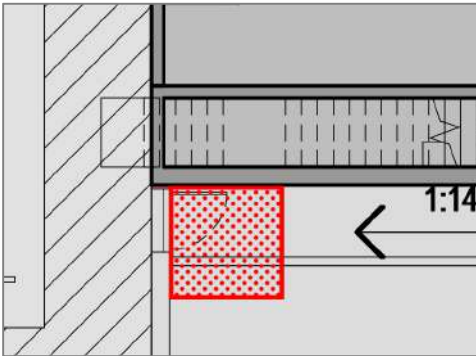
	<p><b>3. Paths of Travel:</b></p> <p>All pathways require a minimum of a 1000mm clear pathway. Drawings indicate a minimum clear width of 1000mm.</p> <p>Compliance is readily achievable. Further review required at detailed design stage.</p>	
--	--	--

### Cl. D3.2: Access to Buildings

DtS Provision	Comment(s)/Recommendation(s)	Status
<p>An accessway must be provided to a building required to be accessible –</p> <ul style="list-style-type: none"> <li>from the main points of pedestrian entry at the allotment boundary; and</li> <li>from another accessible building connected by a pedestrian link; and</li> <li>from any required accessible carparking space on the allotment.</li> </ul> <p>In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and –</p> <ul style="list-style-type: none"> <li>through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and</li> <li>in a building with a floor area more than 500m<sup>2</sup>, a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance.</li> </ul> <p>except for pedestrian entrances serving only areas exempted by D3.4.</p>	<p><b>Pedestrian Entry(s)</b></p> <p>Plans indicate access from the allotment boundary on both sides of the development.</p> <p><b>Principal Pedestrian Entry (PPE)</b></p> <p>Details of the main building entry have not been provided but ample space is indicated. PPE is capable of compliance, further review required at detailed design stage.</p>	CoC



### Cl. D3.3: Parts of buildings to be accessible

DtS Provision	Comment(s)/Recommendation(s)	Status
In a building required to be accessible every ramp and stairway, except for ramps and stairways in areas exempted by D3.4, must comply with –		
<ul style="list-style-type: none"> <li>for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and</li> </ul>	<p>Several walkways and ramps are indicated on plans.</p> <p><u>Compliance Departure</u></p> <p>Plans indicate no upper landing is provided to the rear access ramp at the doorway to Basement carpark.</p>  <p><u>Resolution</u></p> <p>Ensure the required landing is provided in accordance with AS1428.1-2009. Drawings indicate sufficient area for design to be amended at the detailed design stage.</p> <p>Ramps &amp; walkways are readily capable of compliance with minor design development at the detailed design stage.</p>	CoC
<ul style="list-style-type: none"> <li>for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1; and</li> </ul>	Compliance is readily achievable with minor amendment at detailed design stage.	CoC
<ul style="list-style-type: none"> <li>for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1; and</li> </ul>	<p>Compliance is readily achievable.</p> <p><i>N.B. – Cl. D2.17(a)(vi) of the BCA is generally assessed by the PCA / BCA Consultant. Where assessment of this Clause is required by this office please confirm and provide detail.</i></p>	CoC
<p>Accessways must have—</p> <ul style="list-style-type: none"> <li>passing spaces complying with AS 1428.1 at maximum 20 m intervals where a direct line of sight is not available</li> </ul>	Compliance is readily achievable with minor amendment at detailed design stage.	CoC

<ul style="list-style-type: none"> <li>turning spaces complying with AS 1428.1 at 20m intervals or within 2m of the termination of an accessway.</li> </ul>		
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### **Cl. D3.4: Exemptions**

<b>DtS Provision</b>	<b>Comment(s)/Recommendation(s)</b>	<b>Status</b>
<p>The following areas are not required to be accessible –</p> <ul style="list-style-type: none"> <li>An area where access would be inappropriate because of the particular purpose for which the area is used.</li> <li>An area that would pose a health or safety risk for people with a disability.</li> <li>Any path of travel providing access only to an area exempted by (a) or (b).</li> </ul>	<p>Exemptions are to be reviewed on a case by case basis. We highlight that the following parts of the building have been offered an access exemption (not exhaustive) –</p> <ul style="list-style-type: none"> <li>Pump Room</li> <li>Plant rooms</li> <li>Bulk storage rooms</li> <li>Loading docks</li> <li>Switch rooms</li> </ul>	Info

### **Cl. D3.5: Accessible carparking**

<b>DtS Provision</b>	<b>Comment(s)/Recommendation(s)</b>	<b>Status</b>
<p>Accessible carparking spaces are to be provided in accordance with Table D3.5 of the BCA in a Class 7a building and a carparking area on the same allotment as a building required to be accessible.</p> <p>Accessible carparking spaces –</p> <ul style="list-style-type: none"> <li>are to comply with AS2890.6-2009.</li> <li>need not be provided in a Class 7a building or a carparking area where a parking service is provided and direct access to any of the carparking spaces is not available to the public</li> <li>need not be designated where there is a total of not more than 5 carparking spaces, so as to restrict the use of the carparking space only for people with a disability</li> </ul>	<p>Sufficient accessible carparking spaces capable of complying are provided in both carparks</p> <p><u>Design Detail -</u></p> <p>Ensure a minimum 2500mm head height clearance is provided above the adaptable parking space where roller door is overhead.</p> <p>Accessible carparking spaces are required to comply with AS2890.6-2009.</p>	CoC

### **Cl. D3.6: Signage**

<b>DtS Provision</b>	<b>Status</b>
<p>In a building required to be accessible signage complying with Spec. D3.6, AS1428.1-2009 and incorporating the appropriate recognised symbol (as appropriate) for persons with disability must be provided as follows —</p> <ul style="list-style-type: none"><li>• braille and tactile signage must identify each sanitary facility and space with hearing augmentation;</li><li>• braille and tactile signage must identify each door required by E4.5 to be provided with an exit sign and state “<b>Exit</b>” and “<b>Level</b>” followed by the floor level number;</li><li>• signage must be provided within a room containing a hearing augmentation system identifying; the type of system, the area covered within the room and if receivers are being used and where the receivers can be obtained;</li><li>• signage must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use;</li><li>• signage to identify an ambulant accessible sanitary facility must be located on the door of the facility;</li><li>• directional signage where a pedestrian entrance is not accessible.</li><li>• directional signage where a bank of sanitary facilities are not provided with an accessible sanitary facility.</li></ul> <p>A design compliance certificate should be obtained from the signage designer/contractor to confirm compliance with the relevant provisions of the BCA and Australian Standards.</p>	DD

### **Cl. D3.7: Hearing augmentation**

<b>DtS Provision</b>	<b>Comment(s)/Recommendation(s)</b>	<b>Status</b>
<p>A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed —</p> <ul style="list-style-type: none"><li>• in a room in a Class 9b building;</li><li>• in an auditorium, conference room, meeting room or room for judicatory purposes;</li><li>• at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider.</li></ul> <p>Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system, other than a public address system used for emergency warning purposes only.</p>	<p>Confirmation is required regarding whether an inbuilt amplification system (other than one used solely for emergency warning) is provided within the building and the location of specific areas.</p>	DD



### **Cl. D3.8: Tactile indicators**

<b>DtS Provision</b>	<b>Comment(s)/Recommendation(s)</b>	<b>Status</b>
<p>Tactile ground surface indicators complying with sections 1 and 2 of AS1428.4.1.-2009 must be provided to warn people who are blind or have a vision impairment that they are approaching –</p> <ul style="list-style-type: none"><li>• a stairway, other than a fire-isolated stairway;</li><li>• an escalator/moving walk;</li><li>• a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp;</li><li>• in the absence of a suitable barrier an overhead obstruction less than 2 m and where an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building.</li></ul>	<p>TGSIs are to be provided to –</p> <ul style="list-style-type: none"><li>• any overhead obstruction less than 2m above floor level.</li><li>• Stairways located at the upper and lower landings.</li><li>• where an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building.</li></ul> <p>TGSI's are to be installed in accordance with AS1428.4.1-2009.</p>	DD

### **Cl. D3.9: Wheelchair seating spaces in Class 9b assembly buildings**

N/A – No fixed seating is proposed

### **Cl. D3.10: Swimming pools**

N/A – No swimming pool is proposed

### **Cl. D3.11: Ramps**

<b>DtS Provision</b>	<b>Comment(s)/Recommendation(s)</b>	<b>Status</b>
<p>On an accessway; a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and a landing for a step ramp must not overlap a landing for another step ramp or ramp.</p>	<p>No pedestrian ramps proposed indicate a combine rise over 3.6m or overlapping landings.</p>	CoC

### **Cl. D3.12: Glazing on an accessway**

<b>DtS Provision</b>	<b>Comment(s)/Recommendation(s)</b>	<b>Status</b>
<p>Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.</p>		DD
<p><b><u>Summary of AS1428.1-2009 Requirements for Visual Indicators on Glazing –</u></b></p> <ul style="list-style-type: none"><li>• Shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.</li><li>• Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side.</li></ul>		